

Primary Contact: **LORENZO'S RESTAURANT**

Updated: 7/13/2002 **SYS**

Case Address: **1912 S ORANGE AV**

Master #: BLD6879301

Case Description: P  3 \$  C  Project Name: **LORENZO'S RESTAURANT**

JOB\_LOCATION: ILEXHURST SUB G/67 LOTS 4 + 5 (LESS RD ON E) BLK A  
 2571/1945PROPOSED\_USE: RESTAURANTWORK DESCRIPTION: ALTER + DEMO

- General 1
- General 2
- Engineering Zoning
- Land Use
- CNC Capacity
- Building**
- Fire General
- Fire

Sprinkler Req. by FBC?:

FBC Construction Type: Unknown

FBC Occupancy Classification:

Number of Stories: 1

Occupant Load:

Building Height:  ft

FBC Code:

C.O. Area:  sqft

Radon Area:  sqft

Estimated Cost:  \$47,850

Activity for BLD6879301

Description	Menu Code	Date1	Date2	Date3	Assigned To	Disp	Done By	Notes
Review by Mechanical	B0300	3/3/1998		3/5/1998	PIT	APPR	PIT	
Review by Fire(B)	B0280	3/3/1998		3/13/1998	DBRE	APPR	DBRE	
Review by Eng/Zone(EB0270		3/3/1998		3/25/1998	SADA	DISA	SADA	
Review by Eng/Zone(EB0270		5/26/1998		3/25/1998	SADA	DISA	SADA	
Review by Building(B) B0210		3/3/1998		4/4/1998	HMOR	DISA	HMOR	
Review by Building(B) B0210		11/5/1998		11/11/1998	THIT	DISA	THIT	
Review by Site Engr(BB0340		3/3/1998		11/11/1998	FOS	APPR	FOS	
Review by Eng/Zone(EB0270		11/5/1998		11/11/1998	SADA	DISA	SADA	
Review by Transp Eng(B0380		11/11/1998		11/11/1998	WAL	APPR	WAL	
Review by Plumbing B0320		12/3/1998		12/9/1998	JAC	APPR	JAC	
Review by Eng/Zone(EB0270		12/9/1998		12/16/1998	SADA	APPR	SADA	
Review by Fire(B) B0280		11/5/1998		12/16/1998	RVML	APPR	RVML	
Review by Building(B) B0210		12/28/1998		12/29/1998	THIT	APPR	THIT	
Review by Fire(B) B0280		12/3/1998		1/4/1999	RVML	APPR	RVML	
Review by Eng/Zone(EB0270		3/3/1998		1/14/1999	SKEL	APPR	SKEL	
(F)Issue BLD Permit	H0100	3/3/1998		1/14/1999		DONE		
Review by MechanicalB0300		1/25/1999		1/25/1999	SIM	APPR	SIM	
Footing Insp	I0100	2/1/1999	2/1/1999	2/1/1999	CEB	DISA	CEB	SLAB NEED TO
Footing Insp	I0100	2/2/1999	2/2/1999	2/2/1999	CEB	APPR	CEB	COMMENT:
Beam Insp	I0110	2/22/1999	2/22/1999	2/22/1999	CEB	DISA	CEB	WALLS NOT C
Beam Insp	I0110	2/26/1999	2/26/1999	2/26/1999	RAE	DISA	RAE	CONTRACTOR
Beam Insp	I0110	3/1/1999	3/1/1999	3/1/1999	RAE	DISA	RAE	MISSING REBA
Beam Insp	I0110	3/2/1999	3/2/1999	3/2/1999	CEB		CEB	PER CONSTRA
Beam Insp	I0110	3/3/1999	3/3/1999	3/3/1999	CEB	DISA	CEB	DOWN ROD IN
Beam Insp	I0110	3/5/1999	3/5/1999	3/5/1999	CEB	APPR	CEB	COMMENT:
Beam Insp	I0110	3/19/1999	3/19/1999	3/19/1999	RAE	APPR	RAE	BEAM AND DO
Other Insp	I0210	5/20/1999	5/20/1999	5/20/1999	HMM	APPR	HMM	COMMENT:
<b>H</b> Review by Plumbing	B0320	3/3/1998	5/25/2000	5/11/2000		DONE	GLO	
Freeze Case	M200			7/13/2002		DONE	SYS	Case frozen by
Permit Expired	I0791			7/13/2002	DES	DONE	SYS	Case expired k



# CITY OF ORLANDO

June 15, 2016

Plan Review Status For Case #: BLD6879301

**Primary Contact:** LORENZO'S RESTAURANT, 407  
**Case Address:** 1912 S ORANGE AV  
**Subtype:** Building-Addition  
**Project #:** PRJ1998-68793  
**Project Name:** LORENZO'S RESTAURANT  
**Case Manager:**  
**Case Description:** JOB\_LOCATION: ILEXHURST SUB G/67 LOTS 4 + 5 (LESS RD ON E) BLK A 2571/1945PROPOSED\_USE: RESTAURANTWORK  
 DESCRIPTION: ALTER + DEMO NEW PLBG

Plan revisions may not be submitted until all disciplines have completed their plan reviews.

### Plan Review Activities:

Activity Description	Started	Completed	Disp	Done By	Assigned To	Notes
Review by Building(B)	3/3/1998	4/4/1998	DISA			
Review by Building(B)	11/5/1998	11/11/1998	DISA			
Review by Building(B)	12/28/1998	12/29/1998	APPR			
Review by Eng/Zone(B)	3/3/1998	1/14/1999	APPR			
Review by Eng/Zone(B)	3/3/1998	3/25/1998	DISA			
Review by Eng/Zone(B)	5/26/1998	3/25/1998	DISA			
Review by Eng/Zone(B)	11/5/1998	11/11/1998	DISA			
Review by Eng/Zone(B)	12/9/1998	12/16/1998	APPR			
Review by Fire(B)	3/3/1998	3/13/1998	APPR			
Review by Fire(B)	11/5/1998	12/16/1998	APPR			
Review by Fire(B)	12/3/1998	1/4/1999	APPR			
Review by Mechanical	3/3/1998	3/5/1998	APPR			
Review by Mechanical	1/25/1999	1/25/1999	APPR			
Review by Plumbing	3/3/1998	5/11/2000	DONE	G. L. Osterberg		
Review by Plumbing	12/3/1998	12/9/1998	APPR			
Review by Site Engr(B)	3/3/1998	11/11/1998	APPR			
Review by Transp Engr(B)	11/11/1998	11/11/1998	APPR			

### ECONOMIC DEVELOPMENT • PERMITTING SERVICES DIVISION

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Approved: Tim J. [Signature]  
 Date: 6/15/16  
 Title: [Signature]

Plan Review Status For Case #: BLD6879301

(F) Issue	BLD Permit	3/3/1998	1/14/1999	DONE					
Footing Insp		2/1/1999	2/1/1999	DISA	C. E. Bargaineer	C. E. Bargaineer			SLAB NEED TO TERMITE TREADED COMMENT:
Footing Insp		2/2/1999	2/2/1999	APPR	C. E. Bargaineer	C. E. Bargaineer			COMMENT:
Beam Insp		2/22/1999	2/22/1999	DISA	C. E. Bargaineer	C. E. Bargaineer			WALLS NOT COMPLETED REINSPECTION OWNED COMMENT:
Beam Insp		2/26/1999	2/26/1999	DISA	R. A. Eden	R. A. Eden			CONTRACTOR WAS NOT READY FOR INSPECTION, WILL CALL BACK IN FOR MONDAY COMMENT:
Beam Insp		3/1/1999	3/1/1999	DISA	R. A. Eden	R. A. Eden			MISSING REBAR AND LENTAL 30.00 RE-INSPECTION FEE DUE COMMENT:
Beam Insp		3/2/1999	3/2/1999	DISA	C. E. Bargaineer	C. E. Bargaineer			PER CONSTRUCTOR COMMENT:
Beam Insp		3/3/1999	3/3/1999	DISA	C. E. Bargaineer	C. E. Bargaineer			DOWN ROD IN EAST CORDNER NEED TO DRILL INTO FOOTER, NEED REVISION ON WALL HEIGHT WESTSIDE COMMENT:
Beam Insp		3/5/1999	3/5/1999	APPR	C. E. Bargaineer	C. E. Bargaineer			COMMENT:
Beam Insp		3/19/1999	3/19/1999	APPR	R. A. Eden	R. A. Eden			BEAM AND DOWNCELLS FOR FINAL BEAM INSPECTION AND PARTIAL ON SIDING COMMENT:
Other Insp		5/20/1999	5/20/1999	APPR					COMMENT:
Permit Expired			7/13/2002	DONE		D. E. Stevens Jr.			Case expired by System procedure (iss_expiration_prc).
Freeze Case			7/13/2002	DONE					Case frozen by System procedure (iss_expiration_prc).

Conditions:

No.	Title/Description	Status	Updated	Updated By
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Building

BHIS CONVERSION CONDITION 11/11/1998

revisions 11/5/98- Provide signed and sealed roof truss engineering. Provide proximity to property line or other buildings for rated wall determination. Submit energy calculations. For questions regarding Building Plan issues contact Tom Hite at 246-2679.

BHIS CONVERSION CONDITION 4/4/1998

1. PROVIDE SEAL TRUSS ENGR, NEED ROOM DIMENSIONS AND BUILDING HEIGHT/OVERHANG SIZE, NEED OCCUPANT LOADS. 2. NEED ATTIC ACCESS AND ROOF VENT SYSTEM TYPE. NEED ENEGY CAL. 2 X 6 RAFTERS DO NOT INDICATE SPANS. 3. PROVIDE UL DESIGN FOR RATED WALLS. 4. 42" GRABBAR PER ADA 97 EDITION IS 12" FROM BACK WALL, ALSO NEED TO INDICATE MOUNTING HEIGHTS FOR MIRROR AND TELEPHONE. 5. SHEET A-7 MUST HAVE RAISED ENGR SEAL

**Conditions:**

**No. Title/Description**

**Status**

**Updated**

**Updated By**

**Building**

**BHIS CONVERSION CONDITION**

**Met**

**12/29/1998**

revisions 12/28/98 Submit roof truss design drawings for review and approval prior to framing inspection.

**Engineering/Zoning**

**LHIS CONVERSION CONDITION**

**11/11/1998**

revisions 11/5/98 - Require SF and use information for existing bldg so Transportation Impact Fee credit can be calculated (information requested 5/27). Demo of existing plbg fixtures needs to be shown in order to receive any sewer benefit fee credit. Fee is calculated on the number of proposed seats. Require existing and proposed seating plan for restaurant. Seating plan submitted shows seats outside bldg wall (requested 5/27). Provide a copy of the cross access agreement with the property to the North (requested 5/27). Provide revised cost estimate that includes demolition, fixtures, brick ovens, and site work. Cost estimate on file is over 6 months old and does not include these items. It appears this project is a substantial improvement. Other Land Development Code items may need to be addressed. The landscaping material that is being removed should be shown relocated on another area of the property. This includes the trees and shrubs at the point of cross access and the tree located in the parking spaces along the west property line (requested 5/27). For questions regarding Zoning, Land Development or Sewer contact Sue Adam at (407) 246-2807.

**LHIS CONVERSION CONDITION**

**3/25/1998**

cost estimate and additional SF is not substantial. Require new/existing seating. Need dimensions of area being demolished. Added and demoed area do not match from sheet to sheet. Existing fixtures and SF need to show so proper credit can be given. Need to see kitchen layout on plans and plbg riser. Trees/shrubs to be removed to be relocated on property. Need copy of cross access agreement.

**LHIS CONVERSION CONDITION**

**3/25/1998**

requested cost estimate from applicant on 3/17 to determine if substantial. requested seating plan. Can not review until determinatin is made based on cost estimate.

**LHIS CONVERSION CONDITION**

**Met**

**12/16/1998**

revisions 12/3/98-Transportation Impact Fee calculated on Orange County Property Appraisers listed gross square footage per building. Per OC, existing bldg to be converted from retail to eating/drinking is 1930 SF. Credit given as retail use @ \$5532 per 1000 SF. Charged 1930 SF as eating/drinking @ \$8719 per 1000 SF. Added area (between 2 bldgs) scaled as 1026 SF new restaurant charged at eating/drinking rate previously noted. Credit for scaled demo area of 570 SF given at eating/drinking rate as previously noted. Total Transportation Impact fee due is \$9114.09 (includes added SF, existing converted SF, and demo). Site costs and site work are not included in this permit application. Seating not to exceed 74 seats per seating diagram provided and attached to plans.

**Plan Review Status For Case #: BLD6879301**

**Conditions:**

**No. Title/Description**

**Status Updated Updated By**

**Fire**

**FHIS CONVERSION CONDITION**

**Met 1/4/1999**

revisions 12/3/98 See Revisions Approved on 12/16/98. This screen was an extra.

**FHIS CONVERSION CONDITION**

**Met 12/16/1998**

revisions 11/5/98 For questions regarding Fire Plan issues contact Rocky Williams at 246-3152. All revisions to these plans must be re-submitted for approval. One stamped set of plans must be on job site until inspection is made and approved by the Fire Prevention Inspector. Revisions to plans have increased the occupancy to 171 persons. This includes employees and patrons. See Original Notes

**Mechanical**

**MHIS CONVERSION CONDITION**

**Met 1/25/1999**

plans approved for permit 01 and 02 me879302 is for address 1916 s. orange av. annexing 1916 into 1912

**MHIS CONVERSION CONDITION**

**Met 3/5/1998**

eed mech drawings and need info on kitchen hoods before mech permit will be issued-new area must meet the 1994 state energy code.

**Plumbing**

**PHIS CONVERSION CONDITION**

revisions 11/5/98 see revisions dated 08-dec-98

**PHIS CONVERSION CONDITION**

**Met 12/9/1998**

revisions 12/3/98 plumbing isometric is rejected, kit area shall go thru grease system. urnal will meet h.c. requirements

**Transportation Engineering**

**JHIS CONVERSION CONDITION**

**Met 11/11/1998**

Approved for interior alterations only. Future access onto Orange Avenue will be coordinated with Mobil Oil. The access to the site shall be via joint-use driveway with Mobil Oil.

**Wastewater**

June 15, 2016

**Plan Review Status For Case #: BLD6879301**

**Conditions:**

**No. Title/Description**

**Status**

**Updated**

**Updated By**

**Wastewater**

WHIS CONVERSION CONDITION

Met

1/14/1999

Seating plan shows 74 existing seats and 74 proposed seats. Any additional seating will require payment of sewer benefit fee.



# CITY OF ORLANDO

Tags for Parcel #: 02-23-29-3828-01-040

6/15/2016  
6:49:49PM

Updated By

Tag ID	Category	Description	Effective Date	Created By
0230	N	Warning Determination--Fire Marshal	6/1/2010	JER
0220	N	Warning Determination--Bldg Official	6/1/2010	TLJ
0500	N	Warning Violation--Work Without Permit	5/8/2013	RAE
0899	N	None Zoning - Information Tag	4/26/2015	SYS

This building may require the addition of a fire protection sprinkler system and additional means of egress. Verify scope of work on any new permits to determine whether these additional life safety features are to be included.

Any new work will need to include all changes made to the interior and exterior of the business- changes have been made to the plumbing; walls have been removed, and the bar has been relocated. Also the deck at the front with plumbing is new and unpermitted work.

Installing storefront glazing and door system without permits. Previous tenant left hazardous conditions by removing plumbing and not capping off plumbing properly. Need a plumbing permit and electrical permit. all equipment was removed and interior finishes from this space.

Zoning Official Review required for development. The Zoning and Future Land Use categories on this property are inconsistent.

Spec. 4/15/15 11:42 AM



# CITY OF ORLANDO

Conditions Associated With Case #: BLD2003-08240  
1912 S ORANGE AV

6/14/2016  
11:05:59AM

Condition Code	Title	Hold	Status	Status			Updated	
				Changed	By	Tag	Date	By
B003	Contact-Maiorana	None	Met	12/4/2003	GPM	BLDG	12/4/2003	GPM
	For questions regarding Building Plan Review issues contact Gene Maiorana at 407.246.3539 or gene.maiorana@cityoforlando.net Information regarding plan review, permit issuance and inspections can be obtained by using PROMPT our interactive voice response system at 407.246.4444.							
B005	Contact-Eden	None	Met	4/13/2004	RAE	BLDG	4/13/2004	RAE
	For questions regarding Building Plan Review issues contact Roy Eden at 407.246.2359 or roy.eden@cityoforlando.net. To obtain plan review status, schedule/cancel an inspection and obtain inspection results, please call PROMPT, our Interactive Voice Response System at 407.246.4444. Notice: Contact Orange County Environmental Protection Division at 407.836.1400 for Demolition and Asbestos Removal Notification Requirements Prior to Start of Demolition or Renovation Work. If this application for permit involves the demolition, alteration, or renovation of a commercial building or a residential project of four (4) or more dwelling units you are required to provide "Notice of Asbestos Renovation or Demolition" per Rule 62-257.301(1), F.A.C.							
B022	BUILDING-LIFE SAFETY PLAN (HOLD)	HOLD	Met	12/16/2003	GPM	BLDG	12/16/2003	GPM
	THERE ARE NUMEROUS EXITING PROBLEMS WITH THE FLOOR PLAN SUBMITTED. Please submit a Life Safety plan.This must include the following 1 Occupancy load calculation for each room and a total for the building. 2 A exiting plan for the building and each room. 3 Provide calculation showing that the exits meet required widths for the occupancy load. 4 Some of the existing opening shown going form room to room do not meet minimum width required by code. 5 Need to address the number of exits form the Bar Room and the Dance Floor room. NOTE: DOORS WERE ADDED TO ADD EXITS.ONE OF THE AREAS SHOWED ON THE EXISTING PLAN PAGE A-1 WAS AN EXISTING STAGE THE REVISION PAGE STILL SHOW EXISTING BUT THE WORD STAGE AND THE STAIRS ARE NOT SHOWN.THIS APPROVAL IS DONE WITH THIS FAX THAT THERE IS NO CHANGE IN ELEAVATION FROM THE MAIN FLOOR TO THE NEW EXIT.							
B022	BUILDING-ELEVATIONS (HOLD)	HOLD	Met	2/19/2004	GPM	BLDG	2/19/2004	GPM
	Provide all new elevation drawing for this building.							
B022	BUILDING-TYPE	HOLD	Met	5/4/2004	RAE	BLDG	5/4/2004	RAE
	Revisions indicated a change in the classification to type VI - unprotected. This structure is to large for this type of construction in a A-2 occupancy. The 2nd revision submitted April 22, 2004 does not address this condtion. Category V. is not a building type. See Tables 500 and 600 Florida Building Code, 2001 Edition.							
B022	BUILDING-FLOOR LOADS	HOLD	Met	4/22/2004	RAE	BLDG	4/22/2004	RAE
	Floor loads need to be designed to comply with chapter 16, and be posted.							
B024	Building-Narrative	None	Met	5/4/2004	RAE	BLDG	5/4/2004	RAE
	Revisions are required to be clouded and a narrative attached describing all changes being made to the original documents.							
B024	Building-Narrative	None	Met	4/22/2004	RAE	BLDG	4/22/2004	RAE
	Revisions are required to be clouded and a narrative attached describing all changes being made to the original documents.							
B024	Building-Narrative	None	Met	6/15/2004	RAE	BLDG	6/15/2004	RAE
	Revisions are required to be clouded and a narrative attached describing all changes being made to the original documents.							

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1912 S ORANGE AV

Condition Code	Title	Hold	Status	Status			Updated	
				Changed	By	Tag	Date	By
B037	Design-Window/Door Details Provide window and door anchorage/installation details per Section 1707.4.4 FBC, 2001 edition.	HOLD	Met	6/15/2004	RAE	BLDG	6/15/2004	RAE
B039	Design-Product Testing Exterior windows and doors shall be tested and approved by an independent testing laboratory. Provide test reports complying with Section 1707.4.4 FBC, 2001 edition.	HOLD	Met	6/15/2004	RAE	BLDG	6/15/2004	RAE
B049	Design-Code Summary Provide a Building Code Analysis Summary for the building(s). Include the following: 1) Sprinklered yes/no 2) Construction Type 3) Occupancy Class 4) Number of Stories 5) Building Height 6) Square Footage - Conditioned and Unconditioned 7) Estimated Cost of Construction 8) List of Applicable Codes. THE ABOVE INFORMATION WAS NOT SUBMITTED.A PLANS REVIEW WILL NOT BE DONE UNTILL ALL INFORMATION ABOVE IS SUBMITTED.	HOLD	Met	12/16/2003	GPM	BLDG	12/16/2003	GPM
B051	Design-Connector Schedule Provide complete connector and fastener schedule for standing seam siding. Show compliance for wind loads.	HOLD	Met	6/15/2004	RAE	BLDG	6/15/2004	RAE
B075	DESIGN-DIMENSIONS The plans require dimensions for the proposed construction. Section 104.3.1.1 Floroida Building Code, 2001 edition.	HOLD	Met	4/22/2004	RAE	BLDG	4/22/2004	RAE
B076	DESIGN-CONSTRUCTION TYPE The plans submitted for the proposed mezzanine need to be designed and constructed of the same materials consistant and fire resistance of type IV construction. Section 503.2.3 Florida Building Code, 2001 edition.	None	Met	4/22/2004	RAE	BLDG	4/22/2004	RAE
B076	DESIGN-SECTIONAL VIEW Show section thru proposed mezzanine or platform in elevation to show ceiling height on plans.from ground to roof.	None	Met	4/22/2004	RAE	BLDG	4/22/2004	RAE
B113	SUBMITTAL-ROOF TOP UNITS (HOLD) Provide wind load criteria for the roof top units.	HOLD	Met	2/19/2004	GPM	BLDG	2/19/2004	GPM
B114	SUBMITTAL-EGRESS STAIRS Egress stairs need to conform to Section 1005.7.3 Florida Building Code, 2001 edition. Not applicable no occupancy.	None	Met	4/22/2004	RAE	BLDG	4/22/2004	RAE
B139	Asbestos Disclosure Statement Notice: Contact Orange County Environmental Protection Division at 407.836.1400 for Demolition and Asbestos Removal Notification Procedures. Notice requirements of Chapter 62-257, F.A.C., Asbestos Program apply to each owner or operator of a renovation of a facility involving the removal of a threshold amount of regulated ACM or any demolition of a facility regardless of whether or not asbestos is present and to each owner or operator of the site for a renovation of a facility involving the removal of a threshold amount of regulated ACM or any demolition of a facility regardless of whether or not asbestos is present. Contact Orange County Environmental Protection Division, 800 Mercy Drive, Orlando, Florida 32808. Phone (407) 836-1400, Fax (407) 836-1499.	None	Met	2/19/2004	GPM	BLDG	2/19/2004	GPM
BO52	Cost Estimate Provide an estimated cost of construction for this project. There will be additional permit fees as a result of these revisions.Per our phone conversation please submit the above. THIS COMMENT WAS NOT ADDRESSED IN THE REVISIONS SUBMITTED 2/16/04.	None	Met	2/20/2004	GMF	BLDG	2/20/2004	GMF
E005	Contact-McKeever For questions regarding Electrical issues contact Ed McKeever at (407)246-2804 or ed.mckeever@ci.orlando.fl.us.	None	Met	11/22/2003	EPM	ELEC	11/22/2003	EPM

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**Conditions Associated With Case #: BLD2003-08240**  
**1912 S ORANGE AV**

6/14/2016  
 11:06:00AM

Condition Code	Title	Hold	Status	Status			Updated	
				Changed	By	Tag	Date	By
E005	Contact-McKeever For questions regarding Electrical issues contact Ed McKeever at (407)246-2804 or ed.mckeever@ci.orlando.fl.us.	None	Met	4/30/2004	EPM	ELEC	4/30/2004	EPM
E040	Working Clearance Note: Final installation must comply with local or national code with working clearance requirements.	None	Met	11/22/2003	EPM	ELEC	11/22/2003	EPM
E045	General-Disclaimer This review does not guarantee that all code violations have been identified. The responsibility of complying with the code rests with the designer	None	Met	11/22/2003	EPM	ELEC	11/22/2003	EPM
E050	General Notes Please refer to the general notes for information that may pertain to your project. Those items will be binding at the time of inspection.	None	Met	11/22/2003	EPM	ELEC	11/22/2003	EPM
E059	Exit Signs The plans do not show exit signage. Please submit revisions correcting this deficiency.	HOLD	Met	2/19/2004	WPP	ELEC	2/19/2004	WPP
E060	Exit Signs-Circuitry The plans do not show the proper circuitry for the exit signs. Please submit revisions correcting this deficiency.	HOLD	Met	2/19/2004	WPP	ELEC	2/19/2004	WPP
E062	Emergency Lighting The plans do not show emergency lighting. Please submit revisions correcting this deficiency.	HOLD	Met	2/19/2004	WPP	ELEC	2/19/2004	WPP
E064	Emergency Lighting-Circuitry The plans do not show proper circuitry for the emergency lights. Please submit revisions correcting this deficiency.	HOLD	Met	2/19/2004	WPP	ELEC	2/19/2004	WPP
F012	Contact-Johnson For questions regarding fire plans review, please contact Kermit Johnson at 407.246.2676 or at kermit.johnson@cityoforlando.net. To obtain plan review status, schedule/cancel an inspection and obtain inspection results, please call PROMPT, our Interactive Voice Response System at 407.246.4444.	None	Met	12/3/2003	KEJ	FIRE	12/3/2003	KEJ
F060	Plans - Arch./Eng. Licensure Revisions shows Ken Ehlers mets core requirement.	HOLD	Met	6/15/2004	RAE	FIRE	6/15/2004	RAE
F175	FIRE DEPT-MISC The plans must specify the use of the mezzanine. Will this be occupied as a DJ booth, will this be for unoccupied equipment use only.	HOLD	Met	4/22/2004	KEJ	FIRE	4/22/2004	KEJ
F190	Fire Extinguishers-Required The plans do not show the installation of fire extinguishers. Provide and locate fire extinguisher(s) having a minimum rating of 2A10BC for every 3000 sq. ft. of floor area. Travel distance to an extinguisher shall not exceed 75 ft. All extinguishers shall be conspicuously located and readily accessible. The top of the extinguisher shall not be more than 5 ft. above the floor and the bottom of the extinguisher shall not be less than 4 inches above the floor. [City Fire Code, Section 24.27(g)]	HOLD	Met	12/22/2003	KEJ	FIRE	12/22/2003	KEJ
F200	LSC-HEADROOM Provide a scaled section detail to show that headroom clearances required by code is maintained. NFPA 101 7.1.5	HOLD	Met	4/22/2004	KEJ	FIRE	4/22/2004	KEJ
F212	LSC-Corridors-Width The plans do not show adequate corridor clear width. Minimum clear width of any corridor or passageway shall be 44 inches. Please submit revisions correcting this deficiency. [NFPA 101: 12.2.3.5]	HOLD	Met	12/22/2003	KEJ	FIRE	12/22/2003	KEJ

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1912 S ORANGE AV

Condition Code	Title	Hold	Status	Status			Updated	
				Changed	By	Tag	Date	By
F223	LSC-Doors-Panic	HOLD	Met	12/22/2003	KEJ	FIRE	12/22/2003	KEJ
	The plans do not show panic hardware. Panic hardware or fire exit hardware is required for this occupancy. No other locks are allowed on the door. Please submit revisions correcting this deficiency. [NFPA 101: 12.2.2.2.3 & 7.2.1.7]							
F245	LSC-Exits-Number of	HOLD	Met	12/22/2003	KEJ	FIRE	12/22/2003	KEJ
	The number of exits provided for this occupancy is not adequate. Please submit revisions correcting this deficiency. [NFPA 101: 7.4.1] NOTE: the dance floor area and the bar/pool area require two remote exits.							
F266	LSC-Occ-Assembly	HOLD	Met	12/22/2003	KEJ	FIRE	12/22/2003	KEJ
	Interior finish must comply with NFPA 101 12.3.3							
F267	LSC-Occ-Assembly-OL sign	None	Met	12/22/2003	KEJ	FIRE	12/22/2003	KEJ
	Please indicate on the drawings that an occupant load sign must be posted in the rooms of assembly. The sign must be posted before the final inspection for the certificate of occupancy. The maximum occupant load for this occupancy is 223. [NFPA 101:12.7.8.3]							
F346	LSC-Handrail Height	HOLD	Met	12/22/2003	KEJ	FIRE	12/22/2003	KEJ
	Plans do not show proper design of handrails. Handrails on ramps and stairs shall be not less than 34 inches nor more than 38 inches above the surface of the tread. Please submit revisions correcting this deficiency. [NFPA 101: 7.2.2.4.2]							
I002	Contact-Wei	None	Met	1/28/2004	LLW	SITE	1/28/2004	LLW
	For questions regarding Engineering Site issues contact Lihua Wei at 407.246.3807 or lihua.wei@cityoforlando.net Information regarding plan review, permit issuance and inspections can be obtained by using PROMPT our interactive voice response system at 407.246.4444.							
I026	Cost Estimate	None	Met	1/28/2004	PAC	SITE	1/29/2004	LLW
	1/28/04 Please submit private site improvement cost estimate form. Cost sheet forms and instructions are available on our website at www.cityoforlando.net.							
	1/29/04 Cost sheet is not received. Conditions is moved to ENG2004-00194.							
I042	Drainage-Abutting Property	Warn	Met	1/28/2004	LLW	SITE	1/28/2004	LLW
	No drainage is permitted to be discharged onto surrounding private property, nor can existing drainage patterns be adversely affected by any construction.							
I046	Other Agencies-FDOT	HOLD	Met	1/28/2004	PAC	SITE	1/29/2004	LLW
	1/28/04 Florida Department of Transportation (FDOT) approval/permit required prior to permit issuance. (407) 858-5900							
	1/29/04 FDOT permit is not received. Conditions is moved to ENG2004-00194.							
I057	Sidewalk-Replace	Warn	Met	1/28/2004	LLW	SITE	1/28/2004	LLW
	Remove and replace all damaged sidewalk, curb, pavement and parkway.							
I061	Site-Driveway Approach Required	HOLD	Met	1/28/2004	LLW	SITE	1/28/2004	LLW
	6" thick concrete driveway approach required, as per the Engineering Standards Manual, Standard Engineering Details, sheet 2.							
J002	Contact-Pence	None	Met	12/23/2003	JLP	TENG	12/23/2003	JLP
	For questions regarding Transportation Engineering issues contact John Pence at 407.246.3187 or john.pence@cityoforlando.net Information regarding plan review, permit issuance and inspections can be obtained by using PROMPT our interactive voice response system at 407.246.4444.							
J051	Parking Lot Design Misc (No Hold)	None	Met	1/23/2004	JLP	TENG	1/23/2004	JLP

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Condition Code	Title	Hold	Status	Status		Tag	Updated		
				Changed	By		Date	By	
	1. The survey and the site plan do not match. The footprint of the building perimeter on the survey shows islands around the entrance. This encroaches into the parking stalls and thus into the driving aisle dimensions. The site plan does not show this. You also need to provide curbing, or wheel stops for the parking stalls. You show nothing. You also show additional parking (inaccessible). (revision 01/23/04 - New parking design is accessible as shown.) 2. The dumpster requires a minimum of 50' clear backup space. You have parking in the way. (revision 01/23/04 - Met) 3. Show the street curb and all driveways/curbcuts with dimensions on an engineering scaled site plan for further review. (revision 01/23/04 - Met)								
J053	Parking Lot-Design (Hold)	HOLD	Met	1/28/2004	JLP	TENG	1/28/2004	JLP	
	1. Install a "Do Not Enter" sign on the backside of the Stop Sign shown in the landscaped island at the southeast corner of the building. The sign shall face wrong way traffic. (REVISION 01/26/04 - MET) (Revision 01/28/04 - Site Redesigned. No longer required. - MET) 2. Extend the Stop bar for the length of the driving aisle (20 feet total).(REVISION 01/26/04 - MET) (Revision 01/28/04 - Site redesigned. No longer required. - MET) 3. At the westernmost one-way angled parking space that faces the building, stripe out the non-parking triangular pavement area similar to the northern area next to the proposed handicap space. (REVISION 01/26/04 - MET) 4. Relocate the proposed handicap space to an accessible location near the building main entrance. (REVISION 01/26/04 - MET) 5. In the 10' wide landscaped island shown along Esther Street, Install a "Do Not Enter" sign facing the Esther Street driveway traffic, just in front of the landscape tree to avoid wrong way driving. (REVISION 01/26/04 - MET) 6. Install Stop Bar and Stop signage at both the Orange Avenue driveway and the Esther Street driveway per MUTCD standards. (REVISION 01/26/04 - NOT MET) (Revision 01/28/04 - Site Redesigned. Relocate the Stop Bar and the painted word "STOP" 10' east of the location shown on approved site plan. ACTIVITY HOLD UNTIL MET IN FIELD. - MET for permit issuance per Steve Pash) 7. Install a painted arrow on the pavement per MUTCD standards, in the middle of the driving aisle, adjacent to the 10' landscape island shown along Esther Street. It should point toward the Esther Street driveway opening and begin at the northern end of the island. (REVISION 01/26/04 - MET)								
J082	Site-Cross Access	HOLD	Met	1/28/2004	JLP	TENG	2/5/2004	JLP	

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Condition Code	Title	Hold	Status	Status		Tag	Updated		
				Changed	By		Date	By	
	Show the required 24' wide joint-use cross access easement area completely on site plan from end to end. (REVISION 01/26/03 - NOT MET.) (REVISION 01/28/04 - SITE REDESIGNED. SHOW A 19.5' WIDE FUTURE CROSS ACCESS EASEMENT BEGINNING AT THE PROPERTY LINE AND CONTINUING DOWN THE DRIVING AISLE FOR A DISTANCE OF 10' (PER ADAM WALOSIK). PERMIT APPLICATION WILL BE ISSUED PER STEVE PASH AND A COPY OF A RECORDED FUTURE JOINT-USE CROSS ACCESS WITH THE PROPERTY TO THE NORTH AGREEMENT SHALL BE EXECUTED AND DELIVERED TO STEVE PASH (407.246.2149) AN ACTIVITY HOLD SHALL BE IN PLACE UNTIL COMPLETED. - MET WITH TEMPORARY ACTIVITY HOLD) 1. Given the newly proposed layout of one-way parking at the easement area the driving aisle is able to be reduced to 14' at it's narrowest point. This will be all the easement width required in this new scenario. (Spoke to Engineer Ken Ehlers regarding this on 01/26/04 and asked him to coordinate this with Scott Price (attorney preparing easement document)). REVISION 01/28/04 - Site redesigned. See above easement condition. - MET) 2. The easement on the submitted site plan is not labeled as an easement nor is it shown from Lot 3 (the adjacent property) as previously requested and as similarly shown by example in the easement sample Attorney Scott Price was given). (Call John Pence 407-246-3187 if you need further clarification. If we need to meet we can do that also.) (Revision 01/28/04 - Site redesigned. See above easement requirement. - MET) 3. This revision contains no Exhibits A and B as is also required for presentation to the City Legal Department. (see previous e-mailed sample easement agreement requested by and sent to Attorney (Scott Price) on 01/15/04. (Please submit complete agreement documentation to review) (Revision 01/28/04 - Site redesigned. See above easement requirement. - MET) 4. We need to have the adjacent property (Lot 3) signatures, their exhibit and as party to the easement agreement as well. (Revision 01/28/04 - Site redesigned. At such time as the adjacent property to the north redevelops and is deemed 'substantial' development or has change of use - a joint-use cross access shall be required to connect between lot 4,5 and lot 3. A future joint-use cross access agreement is required per the above easement conditions to be executed and in place for lots 4 and 5 with this permit. NOTE: AT SUCH TIME AS THE CITY REQUIRES CROSS ACCESS WITH THE ADJACENT PROPERTY TO THE NORTH, THE ORANGE AVENUE DRIVEWAY SHALL BE REMOVED, RIGHT OF WAY RESTORED PER CITY ESM STANDARDS AND THE PARKING LOT REDESIGNED TO ACCOMMODATE THE CROSS ACCESS. - MET WITH TEMPORARY ACTIVITY HOLD)								
J083	Site-Dumpster	HOLD	Met	1/28/2004	JLP	TENG	1/28/2004	JLP	
	Use the City of Orlando Dumpster Detail. Dumpster shall be 12' x 10' clear inside dimensions (exclusive of any bollards or other obstruction). Attach and revise. REVISION 01/26/04 - Referenced sheet 4 indicating corrected detail was not attached to plan sets. - NOT MET (Revision 01/28/04 - Site redesign. DUMPSTER SHALL HAVE 10' X 12' CLEAR INSIDE DIMENSIONS. - MET)								
K004	Contact-Johnson	None	Met	12/5/2003	SLJ	ENGZ	12/5/2003	SLJ	
	For questions regarding Engineering or Zoning contact Sylvia Johnson at 407.246.3236 or sylvia.johnson@cityoforlando.net Information regarding plan review, permit issuance and inspections can be obtained by using PROMPT our interactive voice response system at 407.246.4444.								
K022	Engineering/Zoning-Misc.	None	Met	1/23/2004	SLJ	ENGZ	7/22/2010	SGW	

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Condition Code	Title	Hold	Status	Changed	By	Tag	Updated Date	By
	The Transportation Engineering Bureau defers to the Planning Staff concerning the subject Conditional Use request to serve Alcoholic Beverages.							
	However, the attached survey shows that the parking spaces and driving aisle within the parking lot are modified and do not meet City requirements or previous approvals. The Owner / Applicant shall provide a Site Plan to be included with the Conditional Use application approval and record file that restore the previously approved parking lot design as follows.							
	A. - The parking adjacent to the south side of the building shall be relocated as angled parking adjacent to Ester Street.							
	B. - Either parking lot landscaping or wheel stops shall be shown on the site plan adjacent to Orange Avenue and Ester Street to prohibit vehicle from driving or parking on the public Sidewalk and public Parkway / Right-of-way.							
	C. - The southern end parking space of the parking row adjacent to the east side of the building shall be removed from the approved driving aisle.							
	D. - Handicap parking shall be shown on the site plan per code.							
	E. - An on-site accessible enclosed / gated Dumpster shall be shown.							
	The above listed approvals were based upon previous non-substantial / significant improvements to the building and site. If in the future the site is substantially / significantly enlarged or improved other changes to the parking lot will be required per City Code for properties accessing from a Thoroughfare street (Orange Avenue).							
	12/23/03 None of this conditions were shown on the site plan.							
	1/23/04 Revised plan submitted. Parking for this development is substandard due to constraint on the site along with the landscaping.							
K022	Engineering/Zoning-Misc.	None	Met	1/27/2004	SLJ	ENGZ	1/27/2004	SLJ
	Per the conditional use the applicant is required to install one (1) bicycle rack consisting of three (3) bicycle spaces. Need to submit a dimensioned site plan.							
	12/23/03 Dimensioned site plan not submitted. The site plan submitted states existing condition not showing the streets and the required bicycle racks.							
	1/24/04 Revised plan submitted need to show the bicycle racks. The bicycle rack need to be shown at the southwest entrance of the building or near the entrance door.							
	1/27/04 Revised plans received showing bicycle racks.							
K044	Fees-Sewer Benefit	None	Met	12/23/2003	SLJ	ENGZ	6/16/2004	SLJ
	Need to submit the existing floor plan showing the existing seating in order to calculate the Sewer Benefit Fee for this development.							
	12/23/03 Department of Business and Professional Regulation inspection report submitted for 200 seats. Plan shows 200 seats. No Sewer Benefit Fee is due.							
	6/16/04 Additional of seats. Seating to remain at 200.							
K113	Zoning-Misc.	None	Met	2/19/2004	SLJ	ENGZ	6/4/2010	EAT
	Need to submit elevation drawing showing the new height of the building.							
	2/19/04 Elevation drawing submitted.							
K113	Zoning-Misc.	None	Met	5/21/2004	KSG	ENGZ	5/21/2004	KSG
	The proposed plan does not need the 15% transparency requirement.							
	Approval of the transparency is approved subject to approval by the Zoning Official and Planning Official.							

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Condition Code	Title	Hold	Status	Status			Updated		
				Changed	By	Tag	Date	By	
K113	Zoning-Misc. Need to provide a continuous screen wall for the AC unit	None	Met	5/26/2004	KSG	ENGZ	5/26/2004	KSG	
	05/21/04, Based on the revision submitted, it is unclear to whether the parapet wall is still shown, required to screen the A/C units or RTU on top of the roof.								
	Based on revised drawing dated 5/24/04 parapet is shown to cover/screen the units, approved as shown.								
K129	Signs-LDC See Chapter 64 Orlando Land Development Code for sign requirements and regulations. Separate building permit applications are required for signs.	None	Met	12/5/2003	SLJ	ENGZ	12/5/2003	SLJ	
M001	Contact-Pittman For questions regarding Mechanical issues contact Donny Pittman at (407) 246-2805 or donny.pittman@ci.orlando.fl.us.	None	Met	12/1/2003	DDP	MECH	12/1/2003	DDP	
M001	Contact-Pittman For questions regarding Mechanical issues contact Donny Pittman at (407) 246-2805 or donny.pittman@ci.orlando.fl.us.	None	Met	2/5/2004	DDP	MECH	2/5/2004	DDP	
M001	Contact-Pittman For questions regarding Mechanical issues contact Donny Pittman at (407) 246-2805 or donny.pittman@ci.orlando.fl.us.	None	Met	5/17/2004	DDP	MECH	5/17/2004	DDP	
M020	Mechanical-Misc. (No Hold) Screening on roof for a/c equipment can't interfere with service or required clearance's for equipment for proper operation of equipment.	None	Met	5/17/2004	DDP	MECH	5/17/2004	DDP	
M022	Mechanical-Misc. (Hold) RTU # 5 not shown on plans only 1,2 and 3. Need to indicate on plans if systems 1,2 and 3 as shown on plan is existing or new ductwork.	HOLD	Met	12/29/2003	DDP	MECH	12/29/2003	DDP	
M022	Mechanical-Misc. (Hold) Scope of project has changed need to resubmit new mechanical plans indicating changes to the HVAC scope of work.	HOLD	Met	2/19/2004	HMS	MECH	2/19/2004	HMS	
M056	Wind Resistance Mechanical equipment, appliances and supports that are exposed to wind shall be designed and installed to resist the wind pressures determined in accordance with the Florida Building Code. [Florida Mechanical Code: 301.13]	HOLD	Met	12/11/2003	RBD	MECH	12/11/2003	RBD	
M060	Energy Efficiency This design is required to meet the Florida Energy Efficiency Code. [Florida Building Code, Chapter 13] If change in scope and the original scope of work exceeds 30 percent of the assessed value of the structure then your required to bring the renovated portions of work upto the current Energy Code requirements.	HOLD	Met	2/19/2004	HMS	MECH	2/19/2004	HMS	
P001	Contact-Osterberg For questions regarding plumbing contact Jerry Osterberg at (407) 246-3548 or jerry.osterberg@ci.orlando.fl.us.	None	Met	11/24/2003	GLO	PLUM	11/24/2003	GLO	
P020	Plumbing Fixtures Existing: 3-wc, 1-ur, 4-lav, 2-fd. Replacing: N/A Relocated: N/A Deleted: N/A New: 3-wc, 1-ur, 4-lav, 2-fd, 2-3 comp/bar snk, 2-hnd/snk, 1-mop/snk, 8-fd, 1-wh.	None	Met	11/24/2003	GLO	PLUM	11/24/2003	GLO	

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Condition Code	Title	Hold	Status	Status		Updated		By
				Changed	By	Date	By	
P051	Water Heater Water heater shall be accessible for maintenance and/or replacement without the removal of any structural members, cabinetry, ceiling tile grid work, permanently set fixtures & equipment, etc. See Chapter 5 in the 2001 Florida Plumbing Code for other installation requirements.	None	Met	11/24/2003	GLO	PLUM	11/24/2003	GLO
P053	Submittal 2001 Florida Plumbing Code Plumbing drawing(s) not approved.  1. Floor drains used as indirect waste receptors shall be equipped with funnels. 2. The Plumbing Contractor shall submit as built isometric drawings to the Plumbing Inspector, either on the job or by fax(407-246-2882), before the Final Plumbing Approval will be issued. NOTE: As built drawings do not have to be signed & sealed by the project Architect/Engineer.	HOLD	Met	11/24/2003	GLO	PLUM	11/24/2003	GLO
P055	Accessibility 2001 Florida Accessibility Code For Building Construction Chapter 11.	HOLD	Met	11/24/2003	GLO	PLUM	11/24/2003	GLO
P069	Urinal shall be handicapped accessible. See 4.18 Urinals. Traps/Interceptors/Separators Requirements for this project: No interceptor required for this project.  1.The Plumbing Contractor shall be responsible for permitting and installing all Traps/Interceptors/Separators. 2. All Traps/Interceptors/Separators shall be accessible for maintenance, cleaning and replacement.  3. Grease Traps: Shall conform to PDI G101 and shall be installed in accordance with the manufacturer's instructions. NOTE: All grease traps shall be equipped with flow reducing fittings. NOTE: Any grease trap located in the floor shall be installed in a vault with a minimum 6" clearance on the sides and a minimum clearance of 12" on the connection ends to afford easy access for maintenance, cleaning and replacement. The vault shall have a lid made of material that will withstand a minimum weight of 250 pounds per square inch without bending or warping. If the lid and vault are subject to vehicular traffic, they shall be constructed according to H20 Loading calculations. The lid shall be installed so as not to be a tripping and/or driving hazard.  4. Interceptors: All Grease Interceptors shall have a minimum 18" diameter sampling tank installed at the outlet of the tank. All Interceptor tanks, lids and manhole extensions shall be constructed according to H20 Loading calculations. The Interceptor design shall be according to the 2001 Florida Plumbing Code, Section 1003, Paragraph 1003.5.2 - 1003.5.3. NOTE: The minimum tank volume of grease interceptors shall be 750 gallons and the maximum volume shall be 1250 gallons. Interceptors shall be permitted to be installed in series to attain the required gallons of grease retention. Interceptors installed in series are not required to contain baffles.  5. Separators: Shall Be Approved Manufactured Models or approved by the local authority. NOTE: For location requirements, see Grease Traps and/or Interceptors.  6. All facilities that are discharging liquid waste containing oil and grease to the City collection system, must contact the Environmental Control Section at 407-246-2664 to gain compliance of City Ordinance Chapter 30 Section 30.15 Oil and Grease Management and Surcharge Program.	HOLD	Met	11/24/2003	GLO	PLUM	11/24/2003	GLO

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# CITY OF ORLANDO

## Case Activity Listing

Case #: BLDD2003-08240

6/14/2016  
11:05:35AM

Case No.	Activity	Date	Hold	Appr	Assigned To	Done By	Updated By	Notes
BLDA0300	Conditions to Customer	4/16/2004	None	DONE		KEJ	4/16/2004	KEJ
BLDA0010	Application Received	11/18/2003	None			GMF	11/18/2003	GMF
BLDB0030	Permit Issuance Hold	11/18/2003	1/28/2004	Hold	DONE	GMF	CLH	1/28/2004 CLH
BLDB0320	Review by Plumbing	11/18/2003	12/4/2003	11/24/2003	Hold	APPR	GLO	11/24/2003 GLO
BLDB0300	Review by Mechanical	11/18/2003	12/4/2003	12/1/2003	Hold	DISA	DDP	12/1/2003 DDP
BLDB0260	Review by Electrical	11/18/2003	12/4/2003	11/22/2003	Hold	APPR	EPM	11/22/2003 EPM
BLDB0270	Review by Eng/Zone(B)	11/18/2003	12/4/2003	12/5/2003	Hold	DISA	SLJ	12/5/2003 SLJ
BLDB0280	Review by Fire(B)	11/18/2003	12/4/2003	12/3/2003	Hold	DISA	KEJ	12/3/2003 KEJ
BLDB0210	Review by Building(B)	11/18/2003	12/4/2003	12/4/2003	Hold	DISA	RAE	12/4/2003 GPM
BLDB0340	Review by Site Eng(B)	11/18/2003	12/4/2003	11/18/2003	Hold	DONE	GMF	11/18/2003 GMF



# CITY OF ORLANDO

## Case Activity Listing

Case #: BLD2003-08240

6/14/2016  
11:05:36AM

Case #	Description	Date 1	Date 2	Date 3	Hold	Disp	Assigned		Done	Updated		Notes
							To	By		By	By	
BLDB0380	Review by Transp Eng(B)	11/18/2003	12/4/2003	11/18/2003	Hold	DONE	GMF		GMF	11/18/2003	GMF	N/A
BLDA0015	(F) Print Plans Receipt			11/18/2003	None	DONE	GMF		GMF	11/18/2003	GMF	
BLDA0016	(F) Print Plan Labels			11/18/2003	None	DONE	GMF		GMF	11/18/2003	GMF	
BLDB0165	Early Start Authorization Req	11/18/2003	11/25/2003	11/18/2003	Hold	DONE	GMF		GMF	11/18/2003	GMF	
BLDH0160	(F) Issue Early Start Authoriz			11/18/2003	None	DONE	GMF		GMF	11/18/2003	GMF	
BLDB0165	Early Start Authorization Req	12/11/2003	12/19/2003	12/11/2003	Hold	DONE	GMF		GMF	12/11/2003	GMF	Robert Foglia is no longer the contractor for this job- Bill Corso is now the contractor-created new early start so Bill could start work
BLDH0160	(F) Issue Early Start Authoriz			12/11/2003	None	DONE	GMF		GMF	1/28/2004	PAC	
BLDA0300	Conditions to Customer			12/3/2003	None	DONE	KEJ		KEJ	12/3/2003	KEJ	
BLDA0020	Plan Revisions Received			12/11/2003	None	DONE	PAC		PAC	12/11/2003	PAC	
BLDB0210	Review by Building(B)	12/11/2003	12/30/2003	12/16/2003	Hold	APPR	GPM		GPM	12/16/2003	GPM	revisions



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## Case Activity Listing

Case #: BLD2003-08240

6/14/2016  
11:05:36AM

Activity	Date 1	Date 2	Date 3	Hold	Disp	Assigned To	Done By	Updated By	Notes
BLDB0270 Review by Eng/Zone(B)	12/11/2003	12/30/2003	12/23/2003	Hold	DISA	SLJ	SLJ	SLJ	revisions
BLDB0280 Review by Fire(B)	12/11/2003	12/30/2003	12/22/2003	Hold	APPR	KEJ	KEJ	KEJ	revisions
BLDB0300 Review by Mechanical	12/11/2003	12/30/2003	12/11/2003	Hold	APPR	RBD	RBD	DDP	revisions
BLDA0300 Conditions to Customer	12/11/2003	12/24/2003	None	None	DONE	GPM	GPM	GPM	
BLDB0260 Review by Electrical	12/13/2003	1/2/2004	12/13/2003	Hold	APPR	WPP	WPP	WPP	
BLDA0300 Conditions to Customer	12/23/2003	12/23/2003	None	None	DONE	SLJ	SLJ	SLJ	
BLDA0300 Conditions to Customer	12/22/2003	12/22/2003	None	None	DONE	KEJ	KEJ	KEJ	
BLDB0380 Review by Transp Eng(B)	12/23/2003	1/9/2004	12/23/2003	Hold	DISA	JLP	JLP	JLP	
BLDB0270 Review by Eng/Zone(B)	1/23/2004	2/6/2004	1/23/2004	Hold	DISA	SLJ	SLJ	SLJ	
BLDB0380 Review by Transp Eng(B)	1/23/2004	2/6/2004	1/23/2004	Hold	DISA	JLP	JLP	JLP	revision



# CITY OF ORLANDO

## Case Activity Listing

Case #: BLD2003-08240

6/14/2016  
11:05:36AM

Agency	Request	Date-1	Date-2	Date-3	Hold	Disp	Assigned To	Done By	Updated By	Notes
BLDA0300	Conditions to Customer			1/23/2004	None	DONE	JLP	JLP	1/23/2004	e-faxed to Bill Corso and Ken Ehlers JLP
BLDB0270	Review by Eng/Zone(B)	1/27/2004	2/10/2004	1/27/2004	Hold	APPR	SLJ	SLJ	1/27/2004	
BLDA0300	Conditions to Customer			1/27/2004	None	DONE	SLJ	SLJ	1/27/2004	
BLDA0020	Plan Revisions Received			1/27/2004	None	DONE	SLJ	SLJ	1/27/2004	
BLDB0380	Review by Transp Eng(B)	1/27/2004	2/10/2004	1/27/2004	Hold	APPR	JLP	JLP	1/28/2004	See Inspection Hold notes and see PAC conditions.
BLDA0020	Plan Revisions Received			1/29/2004	None	DONE	GME	GME	1/29/2004	
BLDB0380	Review by Transp Eng(B)	1/28/2004	2/11/2004	1/28/2004	Hold	APPR	JLP	JLP	1/28/2004	Activity Hold in place JLP
BLDB0210	Review by Building(B)	1/29/2004	2/5/2004	2/5/2004	Hold	DISA	GPM	GPM	2/5/2004	revisions GPM
BLDB0320	Review by Plumbing	1/29/2004	2/12/2004	2/4/2004	Hold	APPR	GLO	GLO	2/4/2004	revisions GLO
BLDB0340	Review by Site Eng(B)	1/28/2004	2/11/2004	1/28/2004	Hold	DISA	LLW	LLW	1/28/2004	



# CITY OF ORLANDO

## Case Activity Listing

Case #: BLD2003-08240

6/14/2016  
11:05:36AM

Activity	Period	Date-2	Date-3	Hold	Disp	Assigned To	Done By	Updated By	Notes
BLDB0340 Review by Site Eng(B)	1/28/2004	2/11/2004	1/28/2004	Hold	APPR		PAC	1/28/2004 PAC	approved per Steve Pash
BLDB0820 Notice of Commencement Req'd	1/28/2004		1/28/2004	None	DONE		PAC	1/28/2004 PAC	
BLDH0100 (F) Issue BLD Permit			1/28/2004	None	DONE		PAC	1/28/2004 PAC	
BLDH0145 (F) Print Inspection Record			1/28/2004	None	DONE		PAC	1/28/2004 PAC	
BLDH0050 (F) Create Invoice			1/28/2004	None	DONE		PAC	1/28/2004 PAC	
BLDA0016 (F) Print Plan Labels			1/28/2004	None	DONE		PAC	1/28/2004 PAC	
BLDB0280 Review by Fire(B)	2/5/2004	2/5/2004	2/5/2004	Hold	APPR		KEJ	2/5/2004 KEJ	revisions
BLDB0260 Review by Electrical	2/5/2004	2/5/2004	2/5/2004	Hold	DISA	EPM	EPM	2/5/2004 EPM	revisions
BLDB0300 Review by Mechanical	2/5/2004	2/5/2004	2/5/2004	Hold	DISA		DDP	2/5/2004 DDP	revisions
BLDB0320 Review by Plumbing	2/5/2004	2/5/2004	2/9/2004	Hold	APPR		GLO	2/9/2004 GLO	revisions



# CITY OF ORLANDO

## Case Activity Listing

Case #: BLD2003-08240

6/14/2016  
11:05:36AM

Agenda	Description	Date	Date 2	Date 3	Hold	Disp	Assigned To	Done By	Updated By	Notes
BLDB0270	Review by Eng/Zone(B)	2/5/2004	2/5/2004	2/5/2004	Hold	DISA	SLJ	SLJ	SLJ	revisions
BLDB0340	Review by Site Eng(B)	2/5/2004	2/5/2004	2/5/2004	Hold	APPR		LLW	LLW	revisions
BLDB0380	Review by Transp Eng(B)	2/5/2004	2/5/2004	2/5/2004	Hold	APPR		JLP	JLP	Read all conditions
BLDA0300	Conditions to Customer			2/5/2004	None	DONE		SLJ	SLJ	
BLDA0300	Conditions to Customer			2/5/2004	None	DONE		GPM	GPM	
BLDB0210	Review by Building(B)	2/18/2004	2/19/2004	2/19/2004	Hold	APPR	GPM	GPM	GMP	revisions
BLDB0280	Review by Fire(B)	2/18/2004	2/19/2004	2/19/2004	Hold	APPR		KEJ	KEJ	revisions
BLDB0270	Review by Eng/Zone(B)	2/18/2004	2/19/2004	2/19/2004	Hold	APPR	SLJ	SLJ	SLJ	revisions
BLDB0260	Review by Electrical	2/18/2004	2/19/2004	2/19/2004	Hold	APPR		WPP	WPP	revisions
BLDB0300	Review by Mechanical	2/18/2004	2/19/2004	2/19/2004	Hold	APPR		HMS	HMS	revisions



# CITY OF ORLANDO

## Case Activity Listing

Case #: BLD2003-08240

6/14/2016  
11:05:36AM

Activity	Description	Batch	Date 2	Date 3	Hold	Disp	Assigned To	Done By	Updated By	Notes
BLDA0300	Conditions to Customer		2/19/2004		None	DONE		GPM	2/19/2004 GPM	
BLDH0050	(F) Create Invoice		2/20/2004		None	DONE		GMF	2/20/2004 GMF	
BLDA0020	Plan Revisions Received		2/16/2004		None	DONE		GMF	2/20/2004 PAC	
BLDA0300	Conditions to Customer		2/19/2004		None	DONE		SLJ	2/19/2004 SLJ	
BLDI0405	Slab Insp	2/25/2004	2/26/2004	2/26/2004	HWO	APPR	MMC	CEB	2/26/2004 IMP	MESSAGE: N PHONE: 4074164198
BLDM550	Fees Recalculated		2/20/2004		None	DONE		GMF	2/20/2004 GMF	The following fee types did not recalculate, or recalculated to 0: Residential Permit Fee Tent Permit Fee
BLDI0305	Lintel/Tie Beam Insp	2/23/2004	2/23/2004	2/23/2004	HWO	APPR	MMC	MMC	2/23/2004 IMP	MESSAGE: N PHONE: 4074164198
BLDI0120	Roof Decking Insp	3/30/2004	3/31/2004	3/31/2004	HWO	APPR	TLH	MMC	3/31/2004 IMP	MESSAGE: N PHONE: 4074164198
BLDA0020	Plan Revisions Received		4/7/2004		None	DONE		GMF	4/7/2004 GMF	
BLDB0211	Review by Building(G)	4/7/2004	4/21/2004	4/13/2004	Hold	DISA	GPM	RAE	4/13/2004 RAE	revisions



# CITY OF ORLANDO

## Case Activity Listing

Case #: BLD2003-08240

6/14/2016  
11:05:36AM

Activity	Description	Date 1	Date 2	Date 3	Hold	Disp	Assigned To	Done By	Updated By	Notes
BLDA0020	Plan Revisions Received			4/22/2004	None	DISA		JFB	4/30/2004 JFB	revisions to correct rejected revisions from 4/7/04
BLDB0210	Review by Building(B)	4/22/2004	5/6/2004	4/22/2004	Hold	DISA	GPM	RAE	4/23/2004 RAE	revisions need to Reclassified construction to Type V. unprotected.
BLDB0280	Review by Fire(B)	4/22/2004	5/6/2004	4/22/2004	Hold	APPR		KEJ	4/22/2004 KEJ	revisions
BLDA0020	Plan Revisions Received			4/22/2004	None	DONE		GMF	4/22/2004 GMF	
BLDB0210	Review by Building(B)	4/22/2004	5/6/2004	4/23/2004	Hold	DISA	RAE	RAE	4/23/2004 RAE	revisions
BLDB0260	Review by Electrical	4/22/2004	5/6/2004	4/30/2004	Hold	APPR	EPM	EPM	4/30/2004 EPM	revisions
BLDB0300	Review by Mechanical	4/22/2004	5/6/2004	4/29/2004	Hold	APPR		DDP	4/29/2004 DDP	revisions
BLDB0280	Review by Fire(B)	4/16/2004	4/30/2004	4/16/2004	Hold	DISA		KEJ	4/16/2004 KEJ	revisions
BLDA0300	Conditions to Customer			4/23/2004	None	APPR		RAE	5/4/2004 RAE	Revisions from 4-22-2004.
BLDH0050	(F) Create Invoice			5/6/2004	None	DONE		PJW	5/6/2004 PJW	





# CITY OF ORLANDO

## Case Activity Listing

Case #: BLD2003-08240

6/14/2016  
11:05:36AM

Activity	Description	Date 1	Date 2	Date 3	Hold	Disp	Assigned		Done	Updated	Notes
							To	By			
BLDI0500	STOP WORK ORDER			5/12/2004	Hold	DONE	TLH	MMC	5/12/2004	MMc	Note: stop work until planning board approves change of use
BLDB0211	Review by Building(G)	5/17/2004	6/1/2004	5/17/2004	Hold	APPR		RAE	5/17/2004	RAE	Revisions from previous plan review dated 4-24-04 .
BLDA0300	Conditions to Customer			5/17/2004	None	DONE		RAE	5/17/2004	RAE	
BLDM0610	Change Case Status to ISS			5/14/2004	None				5/14/2004	RRS	
BLDB0300	Review by Mechanical	5/17/2004	6/1/2004	5/17/2004	Hold	APPR		DDP	5/17/2004	DDP	Revisions
BLDB0211	Review by Building(G)	5/17/2004	6/1/2004	5/17/2004	Hold	DISA		RAE	5/17/2004	RAE	Revisions to add screen wall on roof and add window back.
BLDB0270	Review by Eng/Zone(B)	5/17/2004	6/1/2004	5/20/2004	Hold	DISA		SLJ	5/20/2004	SLJ	Revisions
BLDB0411	Review By Planning Official	5/17/2004	5/24/2004	6/30/2004	Hold	APPR		MCH	7/16/2004	FJF	Release hold approved per Dean Grandin.
BLDB0280	Review by Fire(B)	5/17/2004	6/1/2004	5/17/2004	Hold	DISA		NPW	6/2/2004	NPW	Revision is for exterior alteration only. See new condition related to professional engineers performing architecture.
BLDA0020	Plan Revisions Received			5/24/2004	None				5/24/2004	GMF	



# CITY OF ORLANDO

## Case Activity Listing

Case #: BLD2003-08240

6/14/2016

11:05:36AM

Activity	Description	Date 1	Date 2	Date 3	Assigned		Done		Updated		Notes
					Hold	Dispo	By	By	By	By	
BLDB0211	Review by Building(G)	5/24/2004	6/8/2004	5/28/2004	Hold	DISA	RAE	RAE	5/28/2004	RAE	revisions
BLDB0270	Review by Eng/Zone(B)	5/24/2004	6/8/2004	5/26/2004	Hold	APPR	SLJ	KSG	5/26/2004	KSG	revisions
BLDA0300	Conditions to Customer			5/24/2004	None	DONE		RAE	5/24/2004	RAE	I spoke with Paul Stankley and sent fax to help expedite this review.
BLDA0020	Plan Revisions Received			5/21/2004	None				5/21/2004	PAC	ELEVATIONS ONLY
BLDB0410	Review By Zoning Official	5/21/2004	5/28/2004	5/24/2004	Hold	APPR		MCH	5/24/2004	MCH	Due to the deep recesses of portions of the building as viewed from S. Orange Avenue only the projecting facade of the building shall be counted towards minimum required transparency. On the proposed front elevation submitted to Tim Johnson on 5/24/2004 the transparent area (two 5' x 7' windows and a 3' x 7' door) of 91 s.f. is 15% of the 616 s.f. front facade and thus meets minimum transparency requirements of Ch. 62. LDC.
BLDB0760	Review By Urban Design	5/21/2004	6/7/2004	5/24/2004	Hold	APPR		TLJ	5/24/2004	TLJ	
BLDB0210	Review by Building(B)	5/21/2004	6/7/2004	5/24/2004	Hold	DISA		RAE	5/24/2004	RAE	revision
BLDI0130	Framing Insp	5/26/2004	5/27/2004	5/27/2004	HWO	APPR	TLH	MMMC	5/27/2004	IMP	MESSAGE: N PHONE: 4074164198



# CITY OF ORLANDO

## Case Activity Listing

Case #: BLD2003-08240

6/14/2016  
11:05:36AM

Activity	Description	Date 1	Date 2	Date 3	Hold	Disp	Assigned To	Done By	Updated By	Notes
BLDA0020	Plan Revisions Received			6/4/2004	None	DONE		GMF	6/4/2004 GMF	
BLDH0050	(F) Create Invoice			6/4/2004	None	DONE		GMF	6/4/2004 GMF	
BLDB0210	Review by Building(B)	6/4/2004	6/18/2004	6/15/2004	Hold	DISA		RAE	6/15/2004 RAE	revisions
BLDB0280	Review by Fire(B)	6/4/2004	6/18/2004	6/16/2004	Hold	APPR		KEJ	6/16/2004 KEJ	revisions
BLDA0020	Plan Revisions Received			6/15/2004	None	DONE		RAE	6/15/2004 RAE	
BLDB0210	Review by Building(B)	6/15/2004	6/29/2004	6/15/2004	Hold	APPR		RAE	6/15/2004 RAE	Revisions Dated June 6th and June 14. To correct conditions from previous plans reviews.
BLDB0271	Review by Eng/Zone(G)	6/15/2004	6/29/2004	6/16/2004	Hold	APPR		SLJ	6/16/2004 SLJ	addition of seat and removal of the dance floor per the letter dated May 14, 2004
BLDA0300	Conditions to Customer			6/16/2004	None	DONE		SLJ	6/16/2004 SLJ	
BLDI0170	Zoning Final Insp	6/28/2004	6/29/2004	6/29/2004	HWO	APPR	MGV	IVR	6/29/2004 MGV	MESSAGE: N PHONE: 4074164198
BLDB0810	(F) Print Fire Data Entry Form			6/29/2004	None	DONE		MCC	6/29/2004 MCC	



# CITY OF ORLANDO

## Case Activity Listing

Case #: BLD2003-08240

6/14/2016  
11:05:36AM

Activity	Description	Date 1	Date 2	Date 3	Hold	Disp	Assigned		Done		Updated		Notes
							To	By	By	By			
BLDH0050	(F) Create Invoice			6/25/2004	None	DONE			RSM		6/25/2004	RSM	
BLD10150	Fire Final Insp	6/25/2004	6/28/2004	6/29/2004	HWO	CANC	FIRE		MCC		6/29/2004	MCC	MESSAGE: N PHONE: 4074164198 Called in error
BLD10150	Fire Final Insp	6/28/2004	6/29/2004	6/30/2004	HWO	APPR	FIRE		MCC		6/30/2004	MCC	MESSAGE: N PHONE: 4074164198
BLDA0020	Plan Revisions Received			7/1/2004	None	DONE			PAC		7/1/2004	PAC	
BLDB0260	Review by Electrical	7/1/2004	7/16/2004	7/2/2004	Hold	DONE	EPM		EPM		7/16/2004	EPM	revision



# CITY OF ORLANDO

## Case Activity Listing

Case #: BLD2003-08240

6/14/2016

11:05:36AM

Activity	Description	Assigned			Done		Updated		Notes		
		Date-1	Date-2	Date-3	Hold	Disp.	To	By		By	
BLDH0155	(F) Issue Temp Certif of Occup	6/30/2004	7/30/2004	6/30/2004	None	DONE		TDDH	6/30/2004	TDDH	This temporary certificate of occupancy is granted under the following conditions:

- The non-compliant electrical, engineering, and roof equipment screening issues will be brought into compliance prior to issuance of a permanent Certificate of Occupancy.

- Owner agrees to vacate the space at expiration of the TCO if the non-compliant condition has not been resolved.

- Contractor and building owner agree to hold the City of Orlando harmless for any damages arising from compliance with these conditions.

- All outstanding fees owed to the City of Orlando will be paid prior to issue of permanent Certificate of Occupancy.

Note: The following corrections/additions need to be completed prior to issuance of a C.O.

- Screen A/C units on roof from view from street
- Ceiling in bar (exposed insulation) must be class B rating at minimum. Or get documentation fo installed insulation.
- D.J. loft needs permanent access/egress with safety guidelines being met(Chapter 10)
- Need emergency lights for D.J. space.
- Parking area lights
- Up to date plans (as built)

BLDI0210	Other Insp	7/1/2004	7/1/2004	7/1/2004	HwO	DONE	TLH	MMC	7/2/2004	MMC
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# CITY OF ORLANDO

## Case Activity Listing

Case #: BLD2003-08240

6/14/2016  
11:05:36AM

Activity	Description	Date 1	Date 2	Date 3	Hold	Disp	Assigned To	Done By	Updated By	Notes
BLDH0150	(F) Issue Certificate of Occup			7/16/2004	None	DONE		SSN	7/16/2004 SSN	
BLDI0090	Inspection Hold	1/28/2004		7/16/2004	Hold	APPR	TLH	MMC	7/16/2004 IMP	
BLDI0600	Final Insp	7/15/2004	7/16/2004	7/16/2004	HWO	APPR	TLH	MMC	7/16/2004 IMP	MESSAGE: N PHONE: 4074164198
BLDM200	Freeze Case			2/1/2005	None	DONE		SYS	2/1/2005 SYS	Case frozen by System procedure (case_freeze_prc).



*Bad engine*

ARCHITECTURAL FLOOR PLAN

PROJECT NO. CONTINUED  
**PULSE ORLANDO**  
 1912 S. ORANGE AVENUE

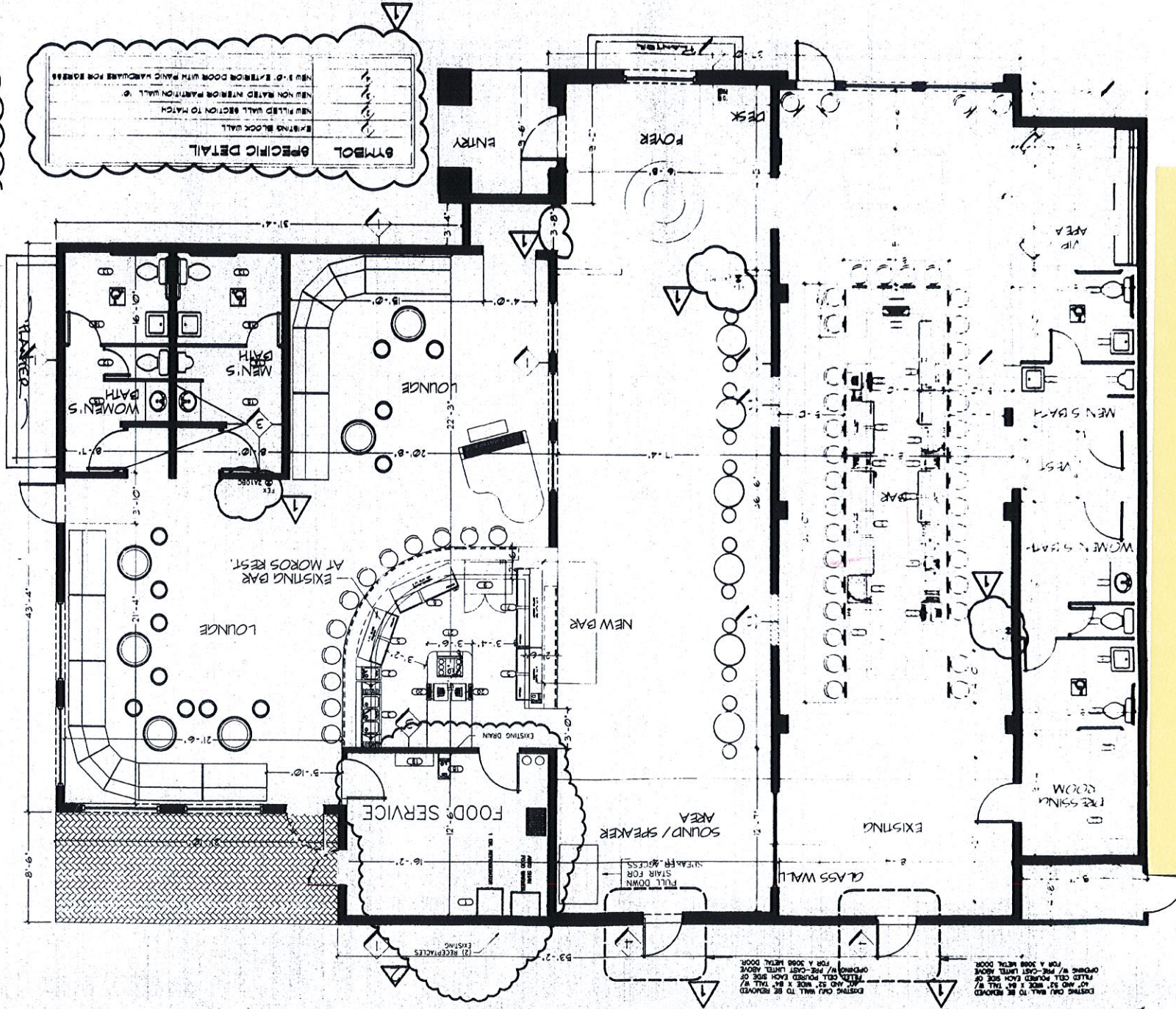
AB & ASSOCIATES  
 2403 HARBECK LANE  
 SORRENTO, FLORIDA 32776

NOTE: ALL EXIT DOORS SHALL BE EQUIPPED WITH PANIC HARDWARE AS STATED IN NFPA 7.2.1.7  
 NOTE: OCCUPANCY LOAD SIGN MUST BE POSTED IN ROOMS OF ASSEMBLY PER NFPA 101: 12.7.8.3  
 MAXIMUM LOAD IS 203 PERSONS

**SPECIFIC DETAIL**  
 SYMBOL  
 NEW NON RATED INTERIOR PARTITION WALL TO MATCH EXISTING BLOCK WALL  
 NEW FILL WALL SECTION TO MATCH EXISTING BLOCK WALL  
 NEW 1'-0" EXTERIOR DOOR WITH PANIC HARDWARE FOR EGRESS

**EQUIPMENT LIST**

1	RECEPTION
2	UNDER COUNTER HAND SINK W/ FAUCET
3	3'-0" COMP. SINK W/ FAUCET
4	6'-0" UNDER COUNTER GLASS FRONTER
5	4' BOTTLE COOLER
6	2' BOTTLE COOLER
7	1' BOTTLE COOLER
8	1' UNDER COUNTER REFRIGERATOR
9	4' UNDER COUNTER REFRIGERATOR
10	1' UNDER COUNTER REFRIGERATOR
11	UNDER COUNTER GLASS WASHER
12	FLOOR MOUNTED WATER CLOSET
13	FLOOR MOUNTED HAND-CAP WATER CLOSET
14	WALL MOUNTED URINAL
15	COUNTER TOP LAVATORY
16	WALL MOUNTED LAVATORY
17	HAND SANITIZER
18	1' BAG-IN-BOX
19	RECEPTACLES / CASH
20	RECEPTACLES / CASH
21	LOCKER BOX / BRINK DISPENSER
22	ICE MACHINE
23	TOP SINK



*Code Enf  
 last visit  
 2012 during  
 all star game.  
 They were in  
 Compliance  
 per Mike  
 Rhode*

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 10/2011



Bar design

ARCHITECTURAL FLOOR PLAN

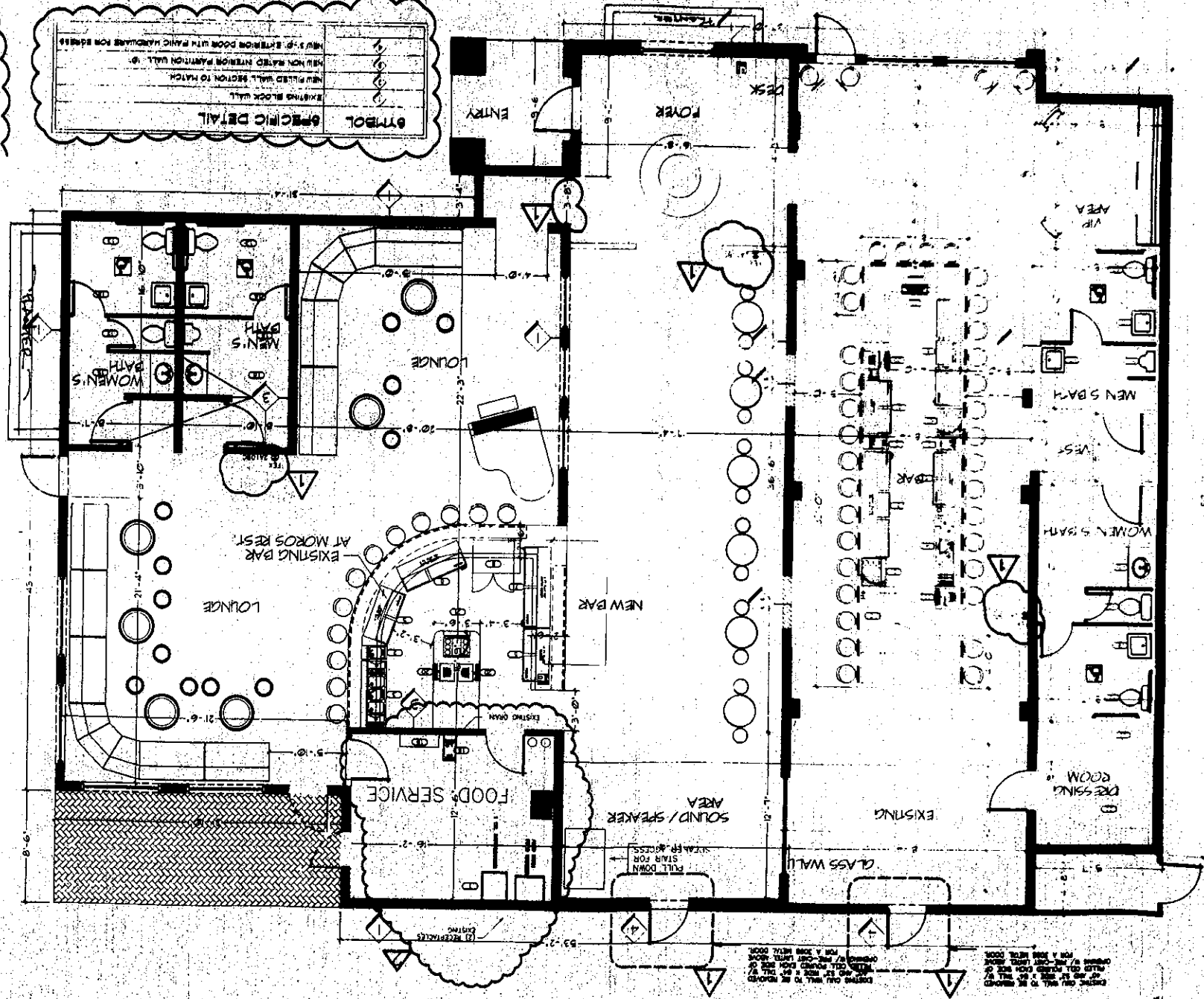
NOTE: ALL EXIT DOORS SHALL BE EQUIPPED WITH PANIC HARDWARE AS STATED IN NFPA 7.2.1.7  
 NOTE: OCCUPANCY LOAD SIGN MUST BE POSTED IN ROOMS OF ASSEMBLY PER NFPA 101: 12.7.8.3  
 MAXIMUM LOAD IS 223 PERSONS

**SPECIFIC DETAIL**

SYMBOL	EXISTING BLOCK WALL
SYMBOL	NEW NON-RATED INTERIOR PARTITION WALL
SYMBOL	NEW 1/2" EXTERIOR DOOR WITH PANIC HARDWARE FOR EGRESS

**EQUIPMENT LIST**

1	100 GALLON ELECTRIC WATER HEATER
2	1 UNDER COUNTER SINK W/ FAUCET
3	1 1/2" SINK W/ FAUCET
4	1 1/2" SINK W/ FAUCET
5	1 UNDER COUNTER GLASS FRONTER
6	1 F. PORTLE COOLER
7	1 F. PORTLE COOLER
8	1 F. PORTLE COOLER
9	1 F. PORTLE COOLER
10	1 F. PORTLE COOLER
11	1 UNDER COUNTER GLASS WATER DISPENSER
12	1 UNDER COUNTER GLASS WATER DISPENSER
13	1 FLOOR MOUNTED WATER CUP WATER CLOSET
14	1 FLOOR MOUNTED WATER CUP WATER CLOSET
15	1 WALL MOUNTED SINK
16	1 COUNTER TOP LAVATORY
17	1 WALL MOUNTED LAVATORY
18	1 HAND SINK
19	1 BAC-N-SOX
20	1 REGISTER / CASH
21	1 ICE MAKER
22	1 COP SINK
23	1 COP SINK



**PULSE ORLANDO**  
 1912 S. ORANGE AVENUE

**AB & ASSOCIATES**  
 2403 HARBOR LANE  
 SORENTINO, FLORIDA 32776

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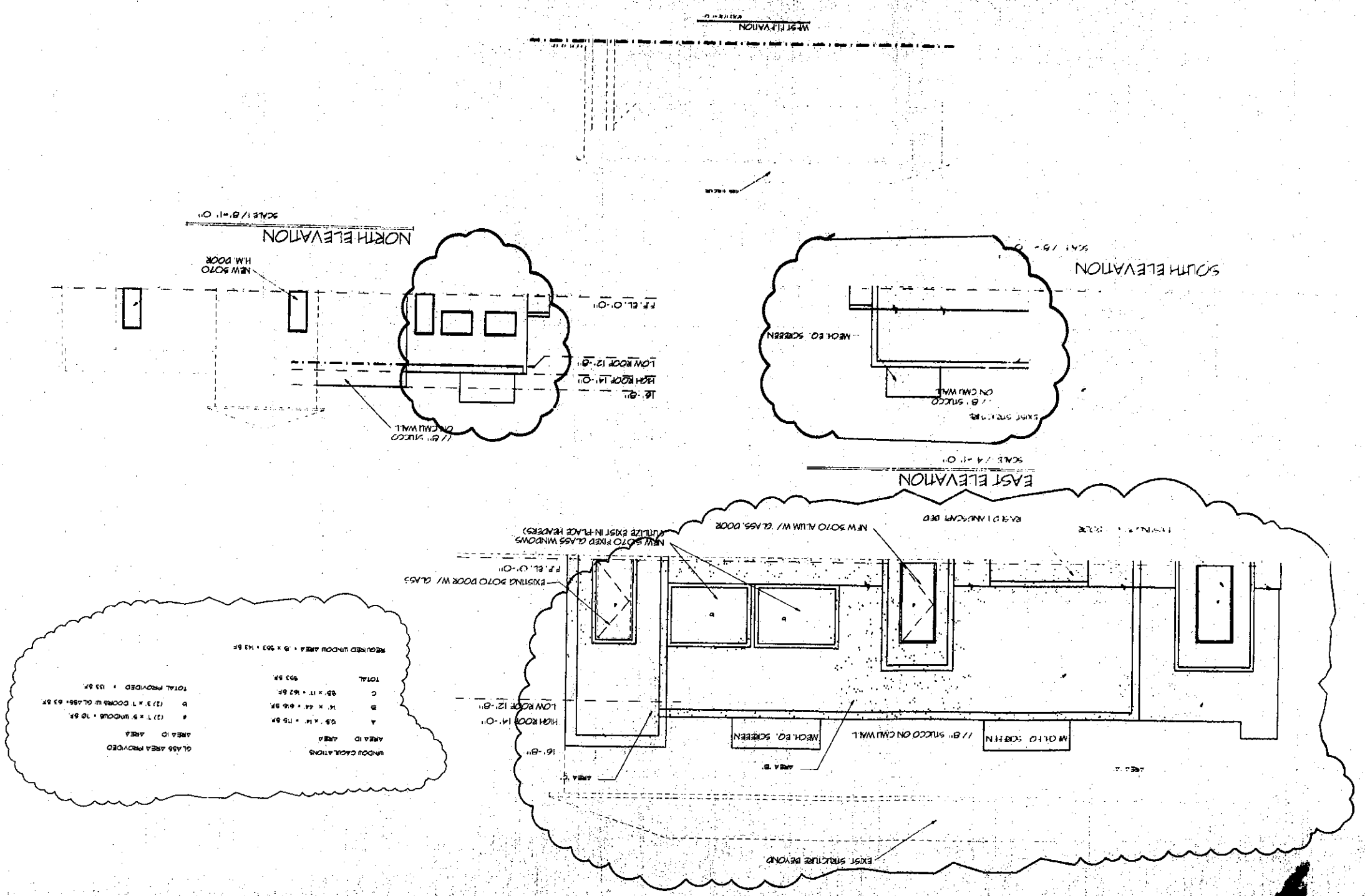
Bob engine

PROJECT: PULSE ORLANDO  
 LOCATION: ORLANDO, FLORIDA

ARCHITECTS - ENGINEERS - DESIGNERS  
**AB & ASSOCIATES**  
 2403 HARBECK LANE  
 SORRENTO, FLORIDA 32776  
 (407) 467-5463  
 ANCY BESEDA  
 COMMERCIAL DESIGN SPECIALIST

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 ● ASSOCIATES  
 ● DESIGN

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Bar Design

ARCHITECTURAL FLOOR PLAN

PUISE ORLANDO  
1912 S. ORANGE AVENUE

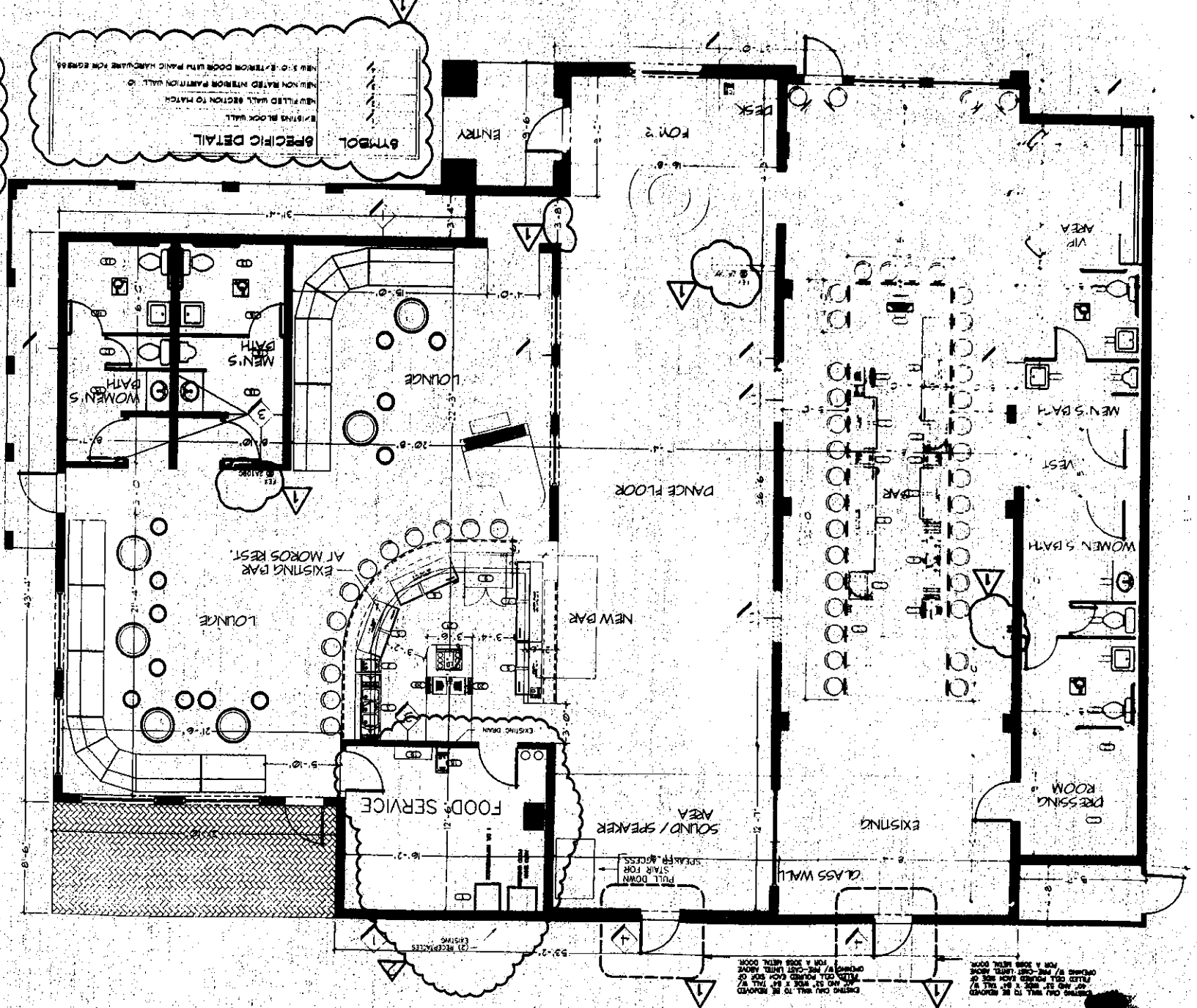
AB & ASSOCIATES  
2440 HARBECK LANE  
SORENTO, FLORIDA 32716

NOTE: OCCUPANCY LOAD IS STATED IN  
WITH PANIC HARDWARE AS STATED IN  
N.F.P.A. 7.2.1.7.  
NOTE: OCCUPANCY LOAD IS 223 PERSONS  
PER N.F.P.A. 101.12.7.8.3  
MAXIMUM LOAD IS 223 PERSONS

SPECIFIC DETAIL  
NEW 5'-0" EXITION DOOR WITH PANIC HARDWARE FOR EGRESS  
NEW FILLED WALL SECTION TO MATCH  
EXISTING BLOCK WALL

EQUIPMENT LIST

1	NO GALLON ELECTRIC WATER HEATER
2	UNDER COUNTER HAND SINK W/ FAUCET
3	3-COMP. SINK W/ FAUCET
4	3-COMP. SINK W/ FAUCET
5	3-BOTTLE COOLER
6	3-BOTTLE COOLER
7	3-BOTTLE COOLER
8	3-BOTTLE COOLER
9	3-BOTTLE COOLER
10	3-BOTTLE COOLER
11	3-BOTTLE COOLER
12	3-BOTTLE COOLER
13	3-BOTTLE COOLER
14	3-BOTTLE COOLER
15	3-BOTTLE COOLER
16	3-BOTTLE COOLER
17	3-BOTTLE COOLER
18	3-BOTTLE COOLER
19	3-BOTTLE COOLER
20	3-BOTTLE COOLER
21	3-BOTTLE COOLER
22	3-BOTTLE COOLER
23	3-BOTTLE COOLER



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Bad original

NO.	25
DATE	
PROJECT	
CLIENT	
DESIGNER	
DATE	

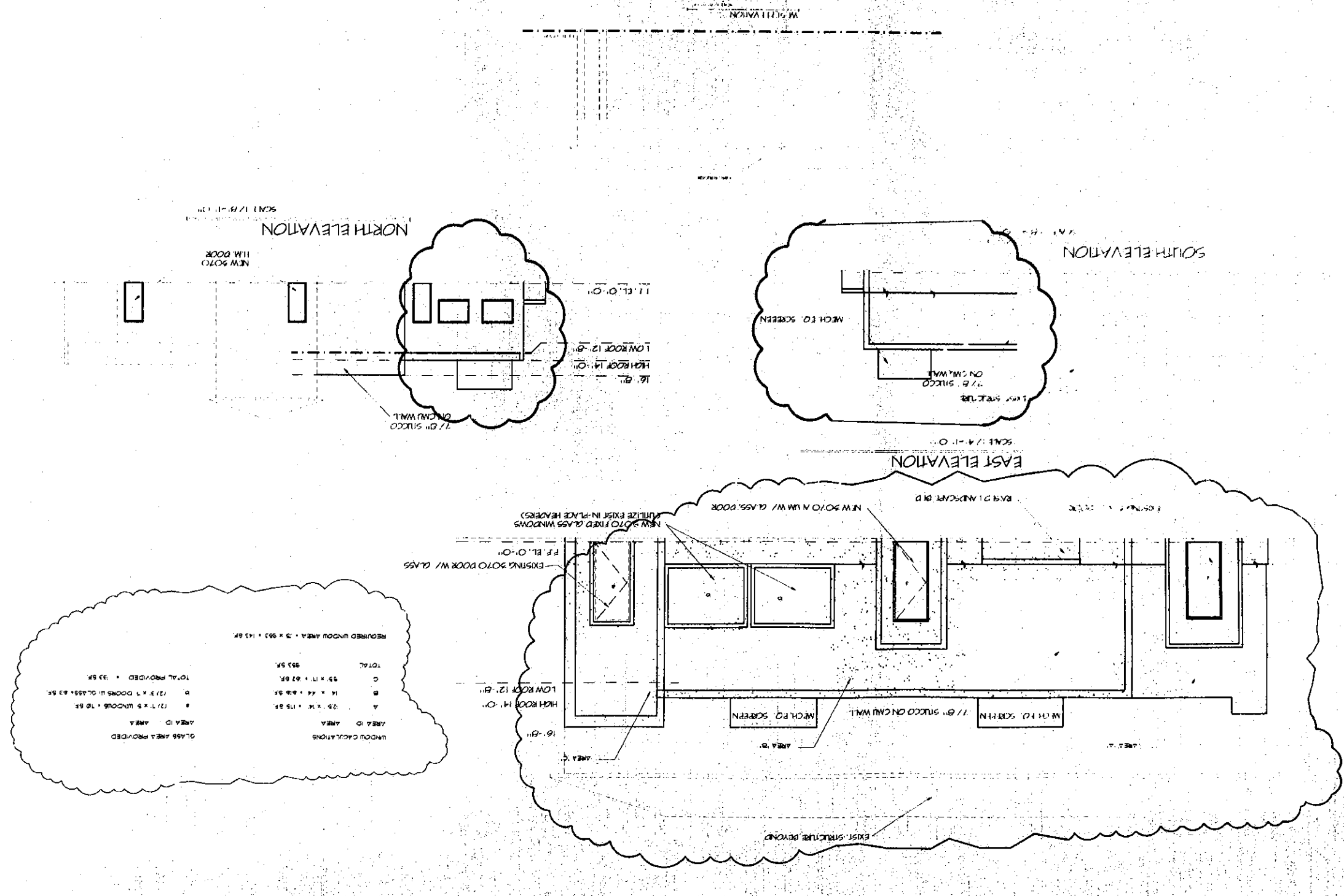
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 3911 Orange Blossom Tr. N.  
 Orlando, FL 32835  
 (407) 240-4407  
 PULSE ORLANDO  
 1111 N. Orange Ave.  
 Orlando, FL 32836  
 (407) 240-4407

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**AB & ASSOCIATES**  
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 SORENTINO, FLORIDA 32776  
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33  
 PULSE ORLANDO  
 ORLANDO, FLORIDA

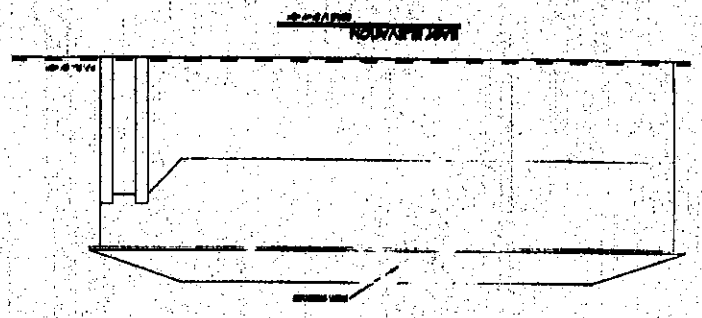
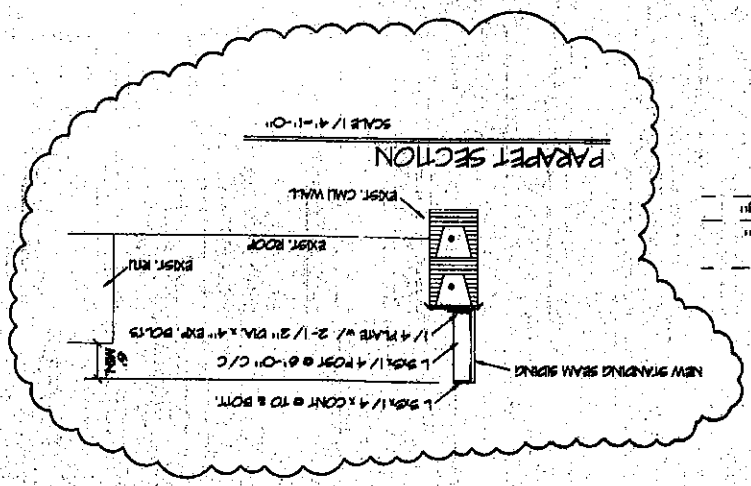
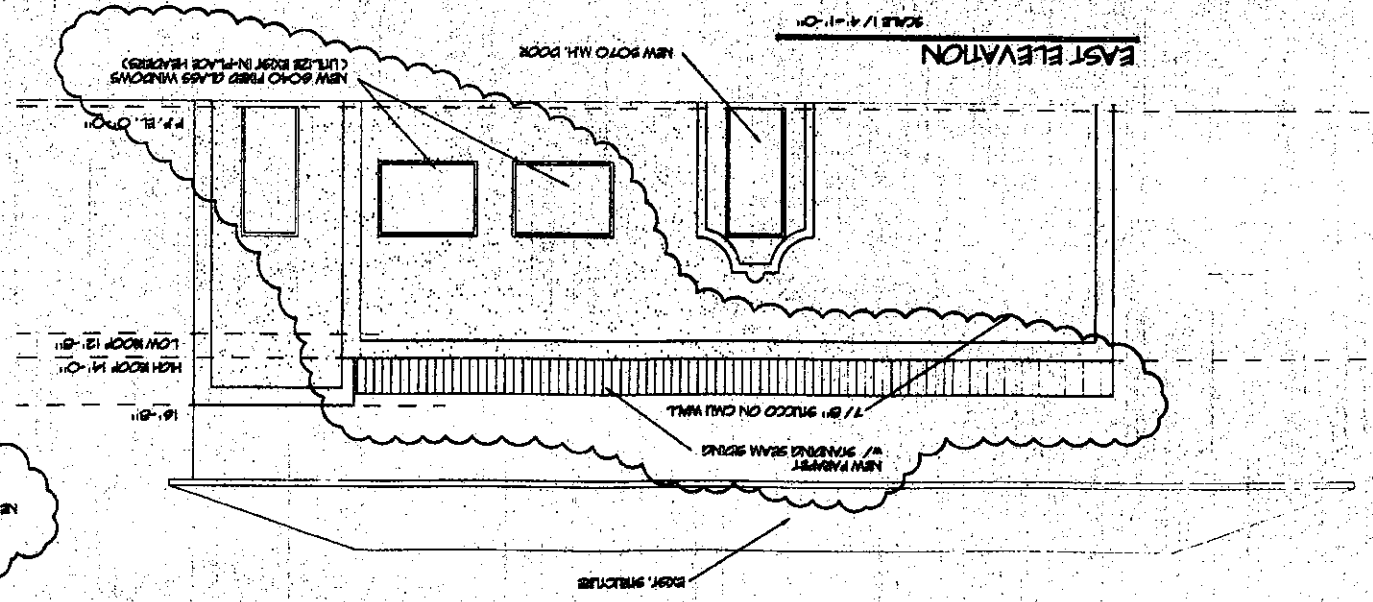
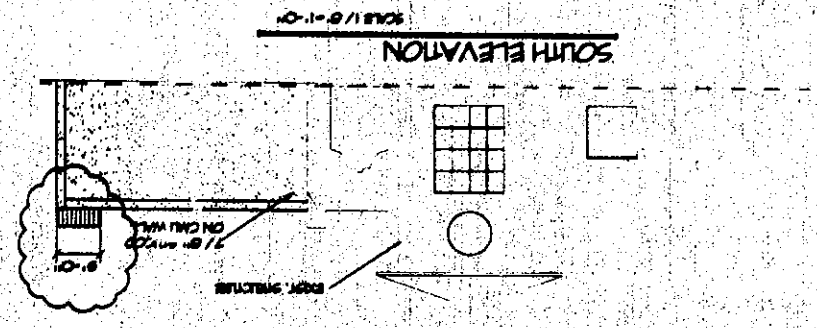
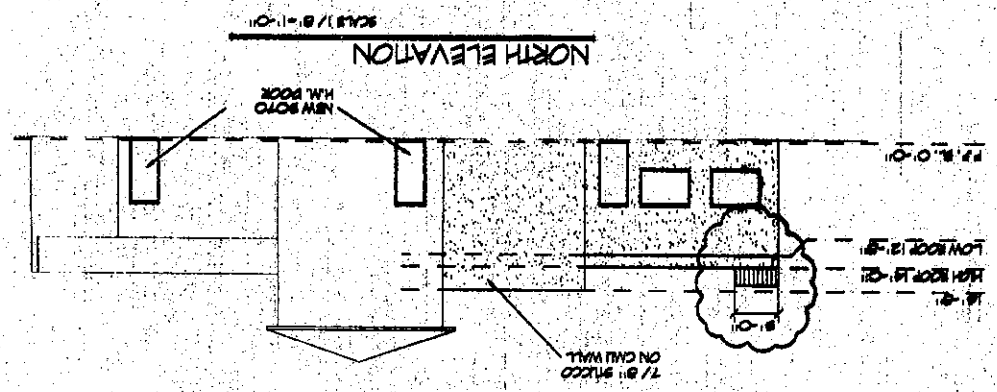
ARCHITECTS - ENGINEERS - DESIGNERS  
**AB & ASSOCIATES**  
 2405 HAVENOCK LANE  
 SEVENING, FLORIDA 32776  
 (407) 467-5463  
 ADT. REG. NO. 5463  
 COMMERCIAL DESIGN SPECIALIST

RESIDUAL  
 ASSOCIATES  
 DESIGN

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Paul Kelly, P.E., P.E.  
 1984  
 State Building Code  
 131 S. Orange Avenue, 11th  
 Orange, FL 32839  
 (407) 148-4481

60-15-04  
 DPA

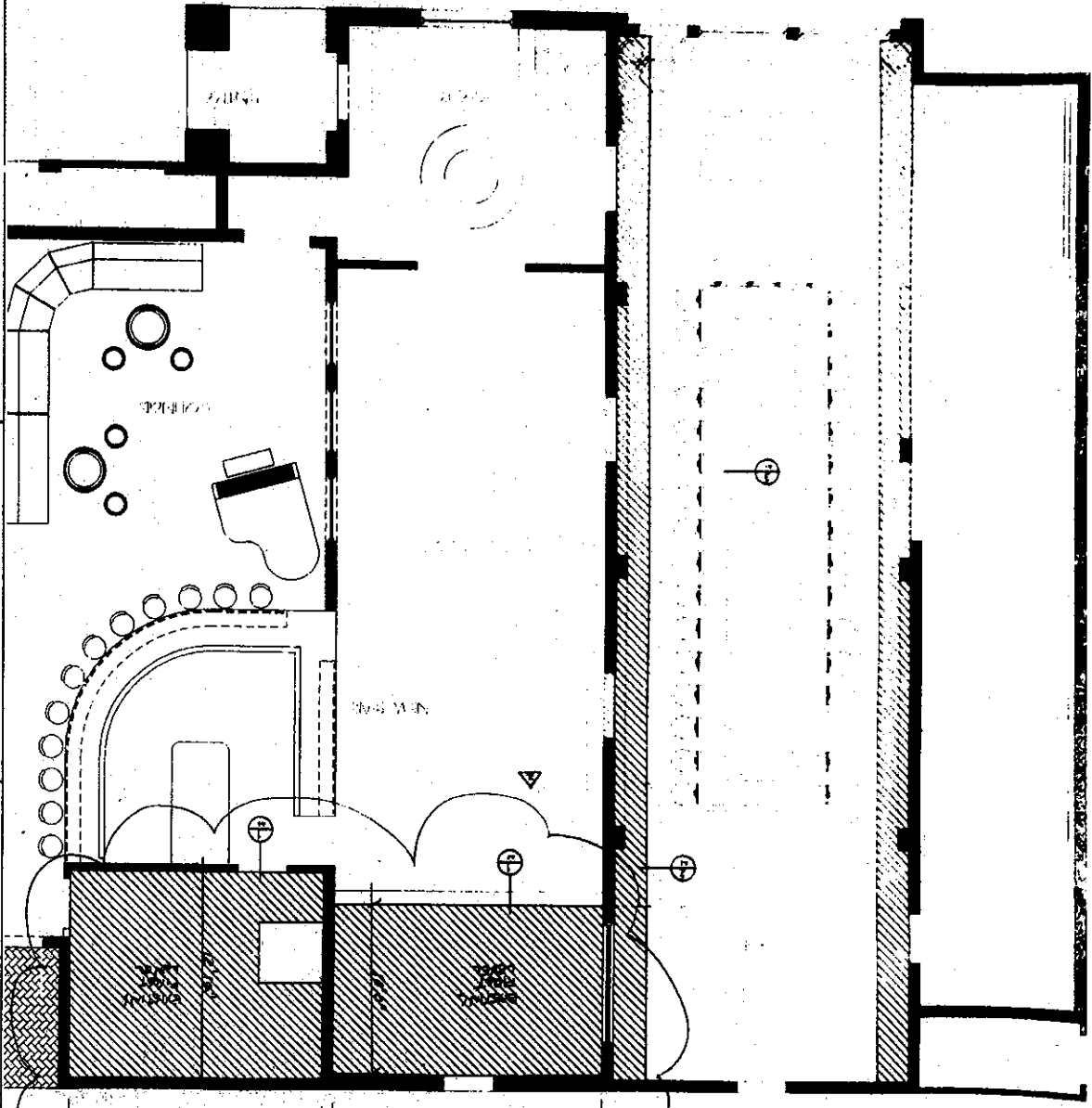
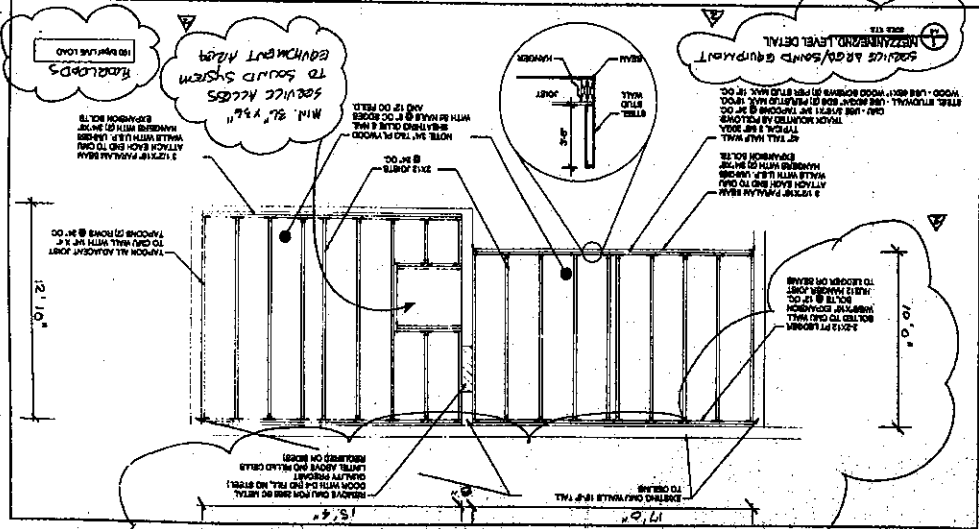
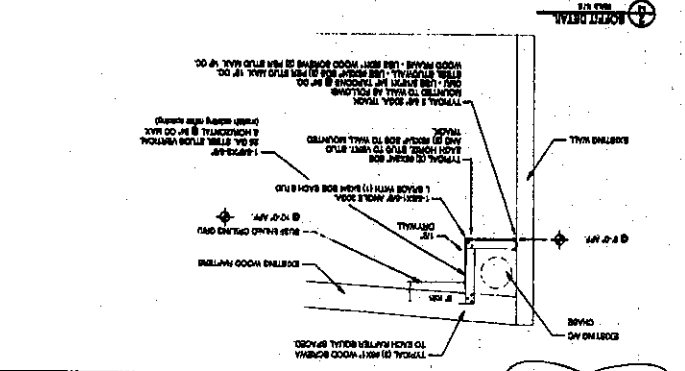
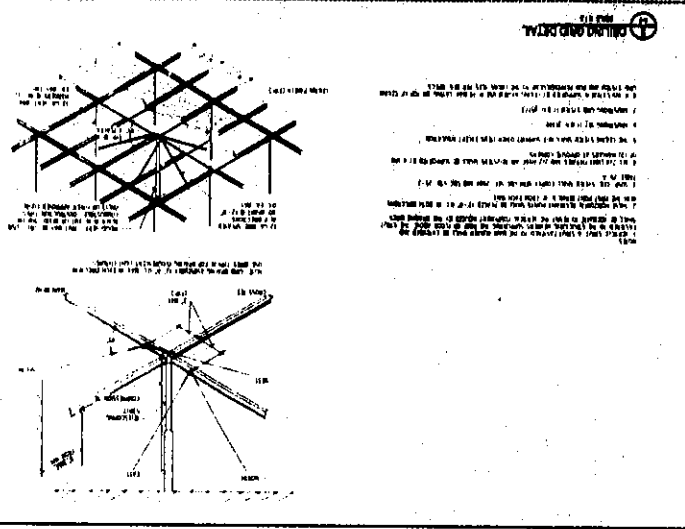
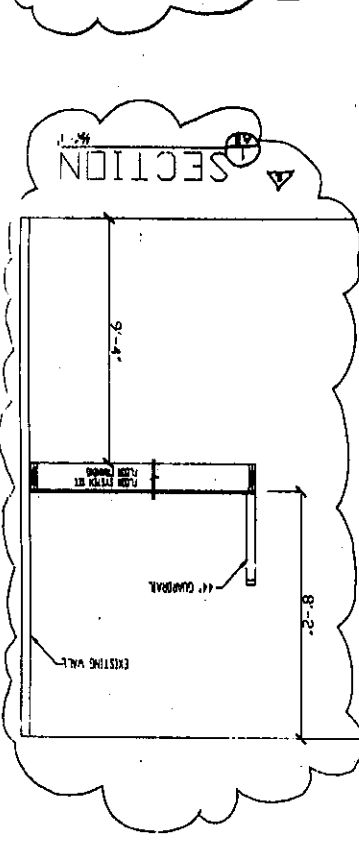


Bad drawing

### ADDENDUM PLAN

GENERAL NOTES:  
 1. CREATE BEARING MEMBRANE FOR SOUND AND LIGHT CONTROL.  
 2. CREATE ROOF FLOOR JOINT AS DUCTS IN EACH BAR AREA.

REINFORCING MEMBERS TO BE TYPE VI  
 SUPPLEMENT TO ACHS SECTION



PROJECT NO. COMMENTS  
**PULSE ORLANDO**  
 1912 S. ORANGE AVENUE

**AB & ASSOCIATES**  
 24403 HARBECK LANE  
 SORRENTO, FLORIDA 32776

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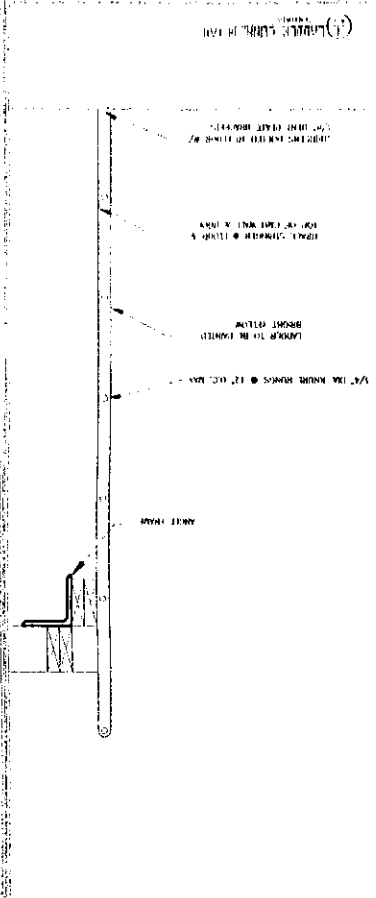
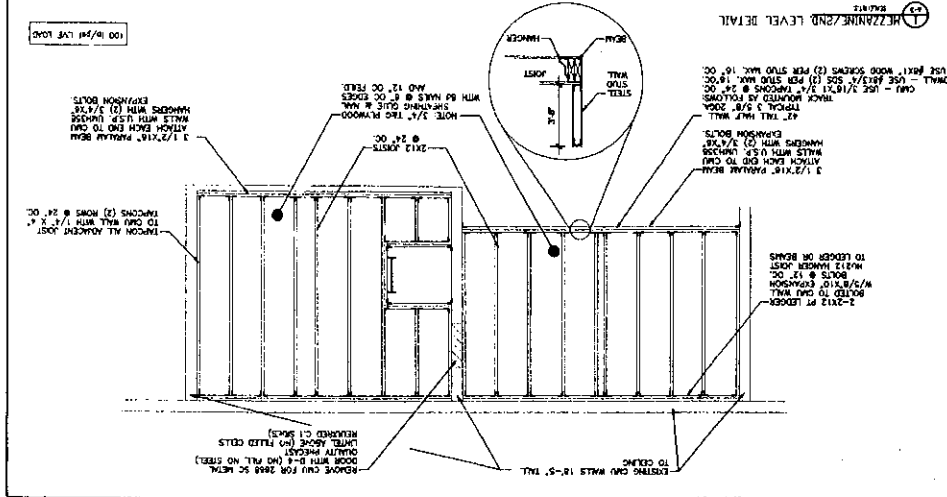
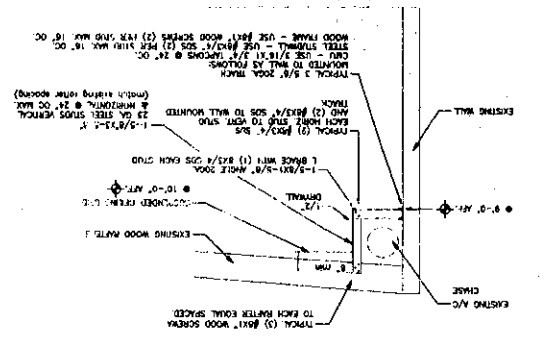
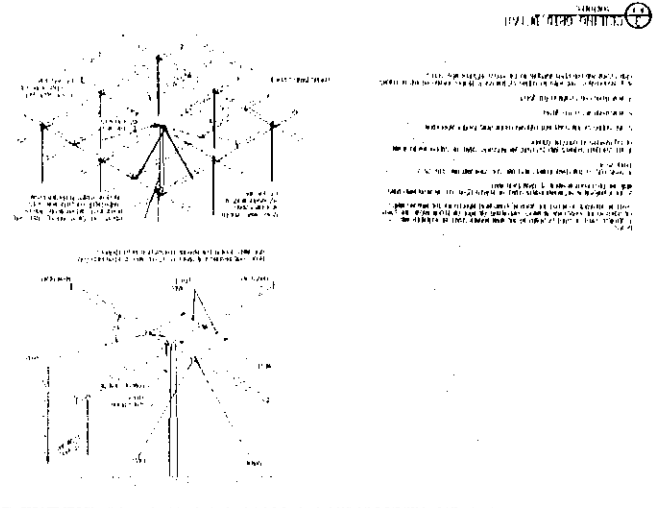
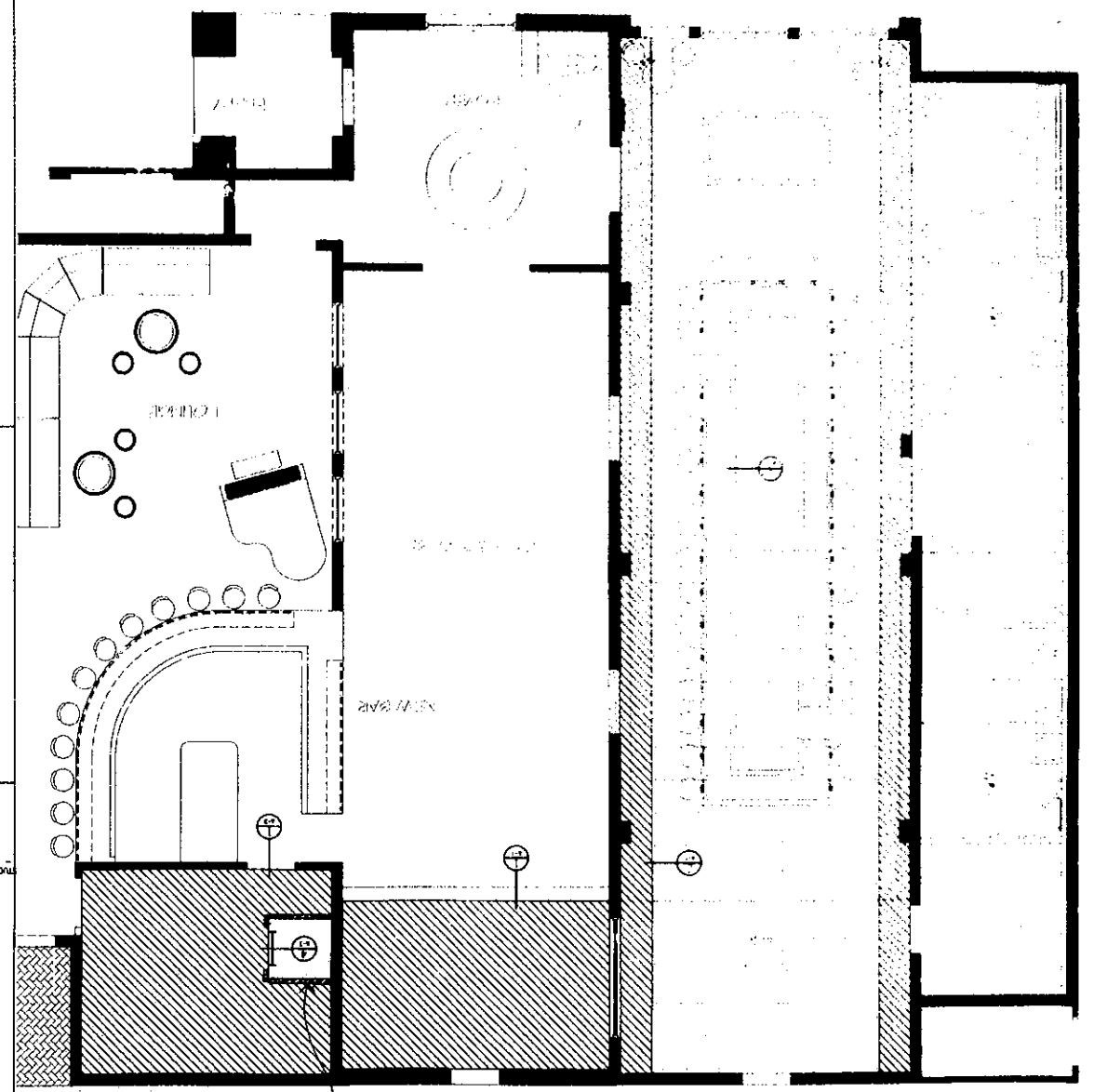


Bob Diggins

ADDENDUM PLAN

GENERAL NOTE:  
1. CREATE SERVICE MEZZANINE  
FOR SOUND AND LIGHT CONTROLS  
ONLY.  
2. CREATE SERVICE FRAME ABOVE  
A/C DUCTS IN HALL BAY AREA.

- MEZZANINE
- ASSOCIATED



PLUSE ORLANDO  
3225 ORANGE AVENUE

AB & ASSOCIATES  
2405 HARBECK LANE  
SORRENTO, FLORIDA 32776

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5/2001



TECHNICAL LIGHTING PLAN

BLESSING ASSOCIATES

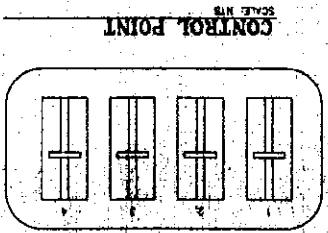
PULSE ORLANDO  
1711 QUAKER AVENUE  
ORLANDO, FLORIDA

ARCHITECTS - ENGINEERS - DESIGNERS  
**AB & ASSOCIATES**  
3000 UNIVERSITY BLVD  
SUITE 200  
ORLANDO, FLORIDA 32803  
(407) 467-1463  
ADY BUCKLA  
Commercial design specialist

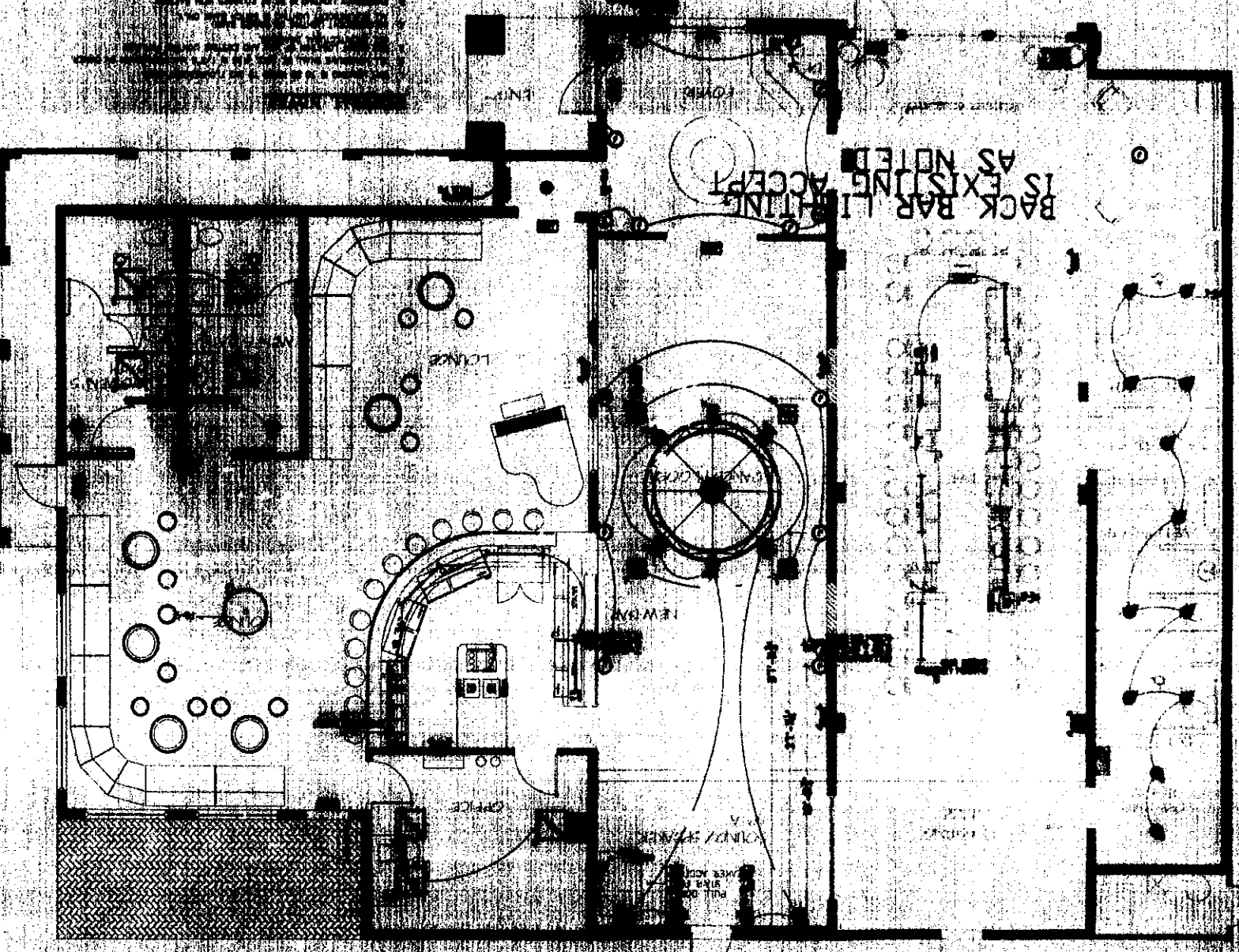
AS NOTED OR EQUIP

NO.	DESCRIPTION	MANUFACTURER	AMOUNT	NOTES
101	RECESSED DOWN LIGHT	OSRAM	100	
102	TRACK LIGHT	OSRAM	100	
103	RECESSED DOWN LIGHT	OSRAM	100	
104	RECESSED DOWN LIGHT	OSRAM	100	
105	RECESSED DOWN LIGHT	OSRAM	100	
106	RECESSED DOWN LIGHT	OSRAM	100	
107	RECESSED DOWN LIGHT	OSRAM	100	
108	RECESSED DOWN LIGHT	OSRAM	100	
109	RECESSED DOWN LIGHT	OSRAM	100	
110	RECESSED DOWN LIGHT	OSRAM	100	

AS NOTED OR EQUIP



NOTE:  
EMERGENCY AND EXIT LIGHTING  
ARE TO BE AHEAD OF ALL SWITCHING/CONTROL



NOTES:  
1. ALL LIGHTING TO BE INSTALLED IN ACCORDANCE WITH THE IBC AND ALL APPLICABLE CODES.  
2. ALL LIGHTING TO BE INSTALLED IN ACCORDANCE WITH THE IBC AND ALL APPLICABLE CODES.  
3. ALL LIGHTING TO BE INSTALLED IN ACCORDANCE WITH THE IBC AND ALL APPLICABLE CODES.

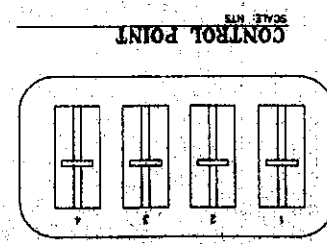
ELECTRICAL LIGHTING PLAN

PULSE ORLANDO  
1912 S. ORANGE AVENUE  
ORLANDO, FLORIDA

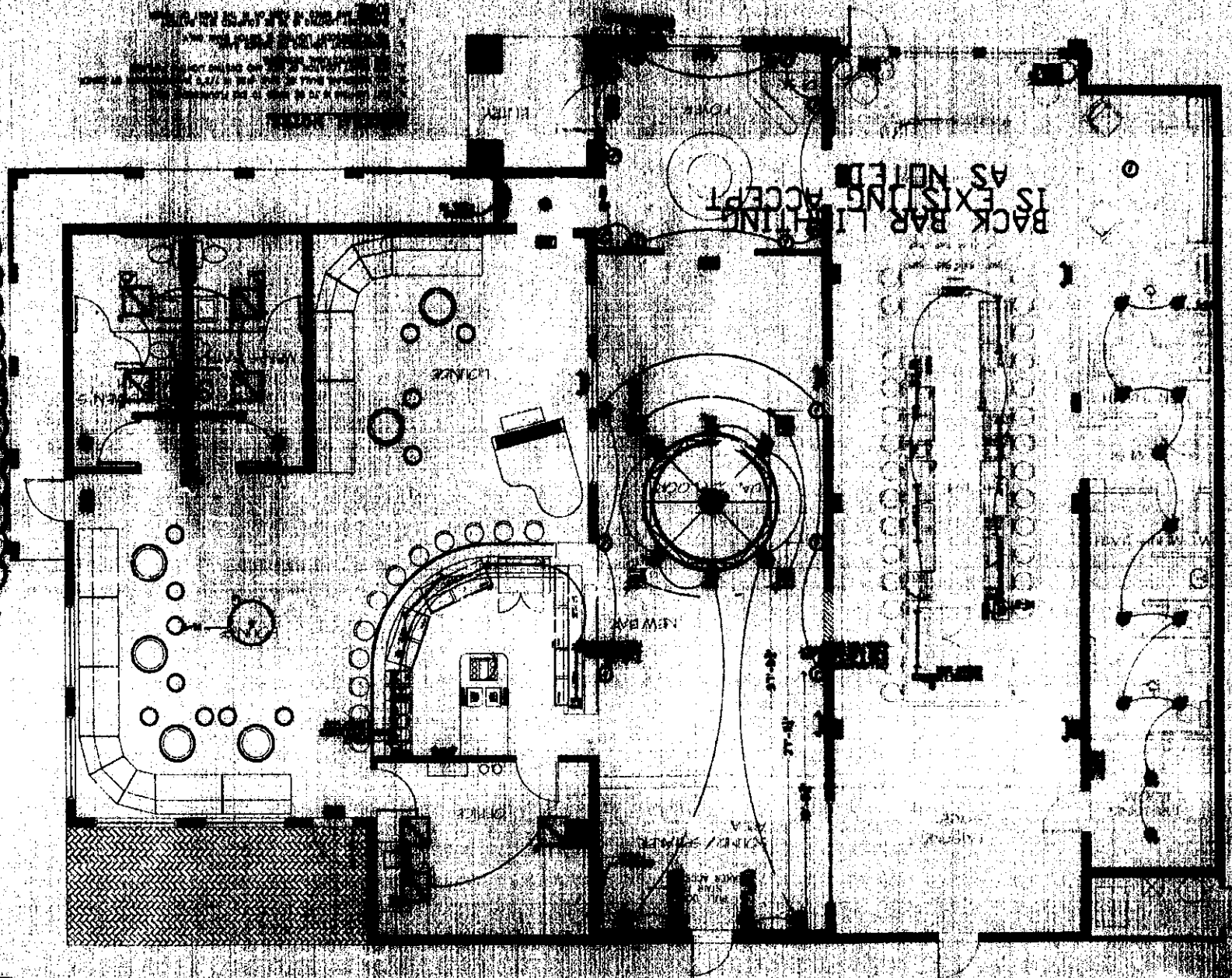
ARCHITECTS - ENGINEERS - DESIGNERS  
**AB & ASSOCIATES**  
200 N. W. 10TH AVENUE  
MIAMI, FLORIDA 33136  
(407) 487-5453

AS NOTED OR EQUAL

NO.	DESCRIPTION	QTY	UNIT	NOTES
1	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
2	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
3	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
4	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
5	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
6	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
7	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
8	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
9	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
10	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
11	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
12	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
13	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
14	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
15	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
16	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
17	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
18	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
19	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
20	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
21	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
22	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
23	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
24	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
25	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
26	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
27	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
28	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
29	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
30	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
31	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
32	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
33	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
34	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
35	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
36	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
37	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
38	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
39	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
40	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
41	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
42	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
43	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
44	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
45	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
46	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
47	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
48	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K
49	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 5000K
50	RECESSED DOWN LIGHT	100	EA	100 WATT, 120V, 3000K



NOTE: EMERGENCY AND EXIT LIGHTING ARE TO BE AHEAD OF ALL SWITCHING/CONTROL



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ASSOCIATES  
INCORPORATED

# CONVENTION POWER PLAN

**PULSER ORLANDO**  
1923 GRAND AVENUE

FLORIDA

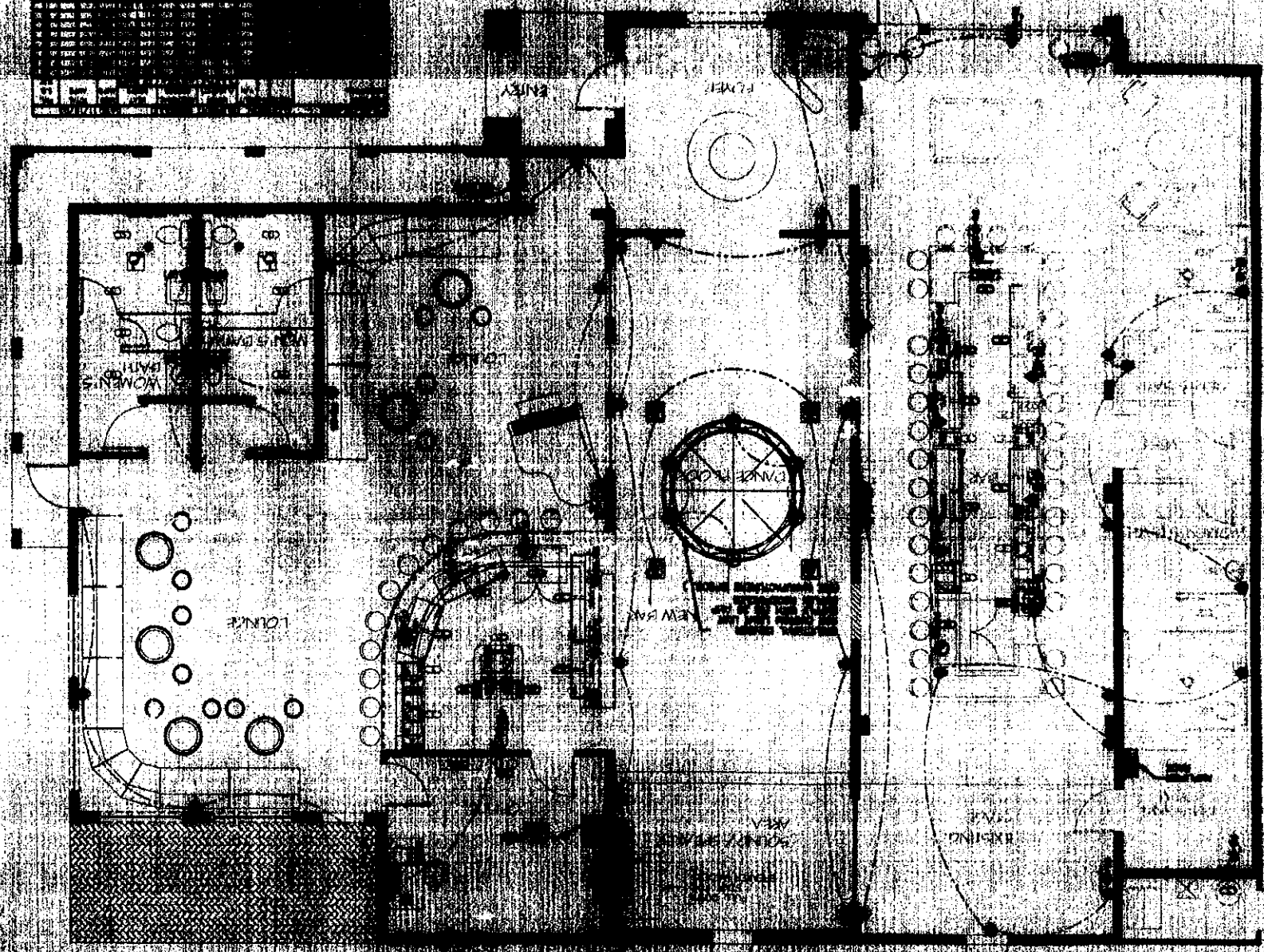
ARCHITECTS - ENGINEERS - DESIGNERS  
**AB & ASSOCIATES**  
2908 BAKER STREET  
TALLAHASSEE, FLORIDA 32306  
(907) 497-5453  
AND BECKER  
CONVENTIONAL DESIGN SPECIALISTS

**SYMBOL LEGEND**

○	12" SPOT
●	18" SPOT
○	24" SPOT
○	36" SPOT
○	48" SPOT
○	60" SPOT
○	72" SPOT
○	84" SPOT
○	96" SPOT
○	108" SPOT
○	120" SPOT
○	132" SPOT
○	144" SPOT
○	156" SPOT
○	168" SPOT
○	180" SPOT
○	192" SPOT
○	204" SPOT
○	216" SPOT
○	228" SPOT
○	240" SPOT
○	252" SPOT
○	264" SPOT
○	276" SPOT
○	288" SPOT
○	300" SPOT
○	312" SPOT
○	324" SPOT
○	336" SPOT
○	348" SPOT
○	360" SPOT
○	372" SPOT
○	384" SPOT
○	396" SPOT
○	408" SPOT
○	420" SPOT
○	432" SPOT
○	444" SPOT
○	456" SPOT
○	468" SPOT
○	480" SPOT
○	492" SPOT
○	504" SPOT
○	516" SPOT
○	528" SPOT
○	540" SPOT
○	552" SPOT
○	564" SPOT
○	576" SPOT
○	588" SPOT
○	600" SPOT

## SYMBOL LEGEND

SYMBOL	DESCRIPTION
○	12" SPOT
●	18" SPOT
○	24" SPOT
○	36" SPOT
○	48" SPOT
○	60" SPOT
○	72" SPOT
○	84" SPOT
○	96" SPOT
○	108" SPOT
○	120" SPOT
○	132" SPOT
○	144" SPOT
○	156" SPOT
○	168" SPOT
○	180" SPOT
○	192" SPOT
○	204" SPOT
○	216" SPOT
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○	468" SPOT
○	480" SPOT
○	492" SPOT
○	504" SPOT
○	516" SPOT
○	528" SPOT
○	540" SPOT
○	552" SPOT
○	564" SPOT
○	576" SPOT
○	588" SPOT
○	600" SPOT



THIS PLAN IS SUBJECT TO THE CITY OF ORLANDO, FLORIDA, ORDINANCES AND REGULATIONS. THE DESIGNER HAS CONDUCTED VISUAL INSPECTION OF THE SITE AND HAS FOUND IT TO BE IN SUBSTANTIAL ACCORD WITH THE CITY RECORDS. THE DESIGNER HAS CONDUCTED VISUAL INSPECTION OF THE SITE AND HAS FOUND IT TO BE IN SUBSTANTIAL ACCORD WITH THE CITY RECORDS.

THE DESIGNER HAS CONDUCTED VISUAL INSPECTION OF THE SITE AND HAS FOUND IT TO BE IN SUBSTANTIAL ACCORD WITH THE CITY RECORDS.





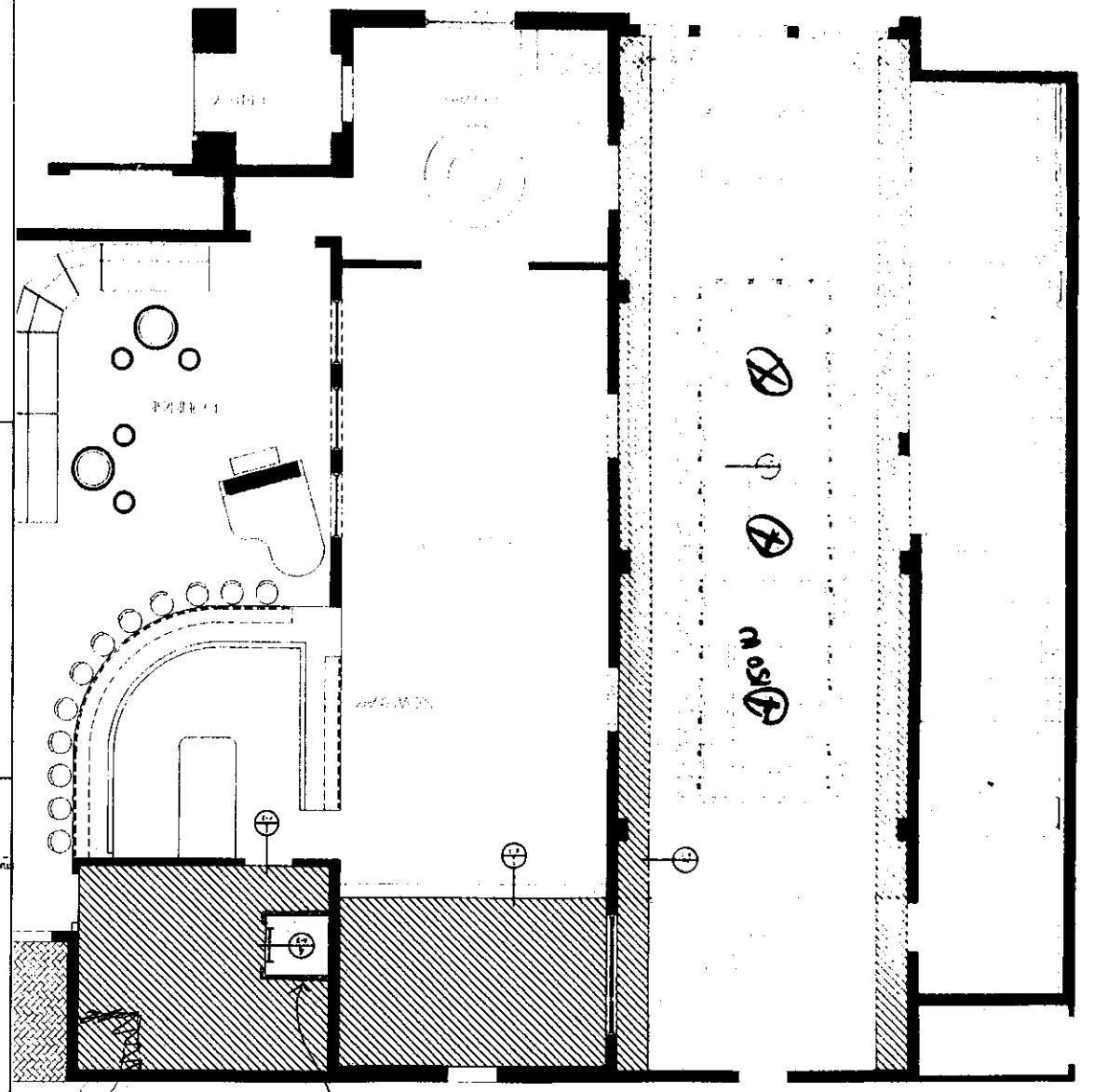
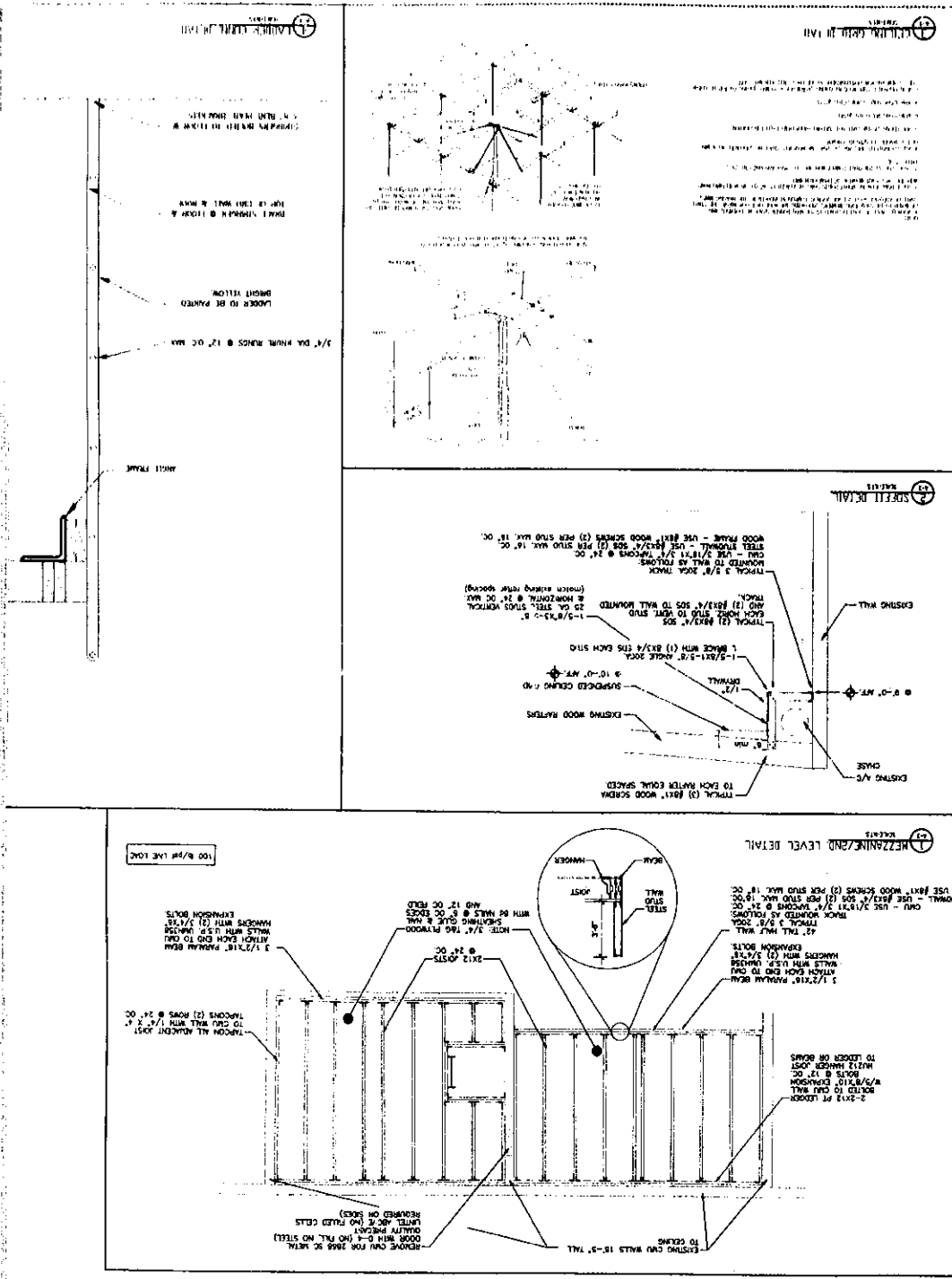
Bob Dinger

ADDENDUM PLAN

GENERAL NOTE:  
1. GRATE SINKING MEZZANINE FOR SOUND AND LIGHT CONTROL.  
2. GRATE ROYPT FRAM AROUND A/C DUCTS IN HALL BAR AREA.

PLEASE ORLANDO  
1912 S. ORANGE AVENUE

AB & ASSOCIATES  
2403 HARBECK LANE  
SORRENTO, FLORIDA 32776



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6/200

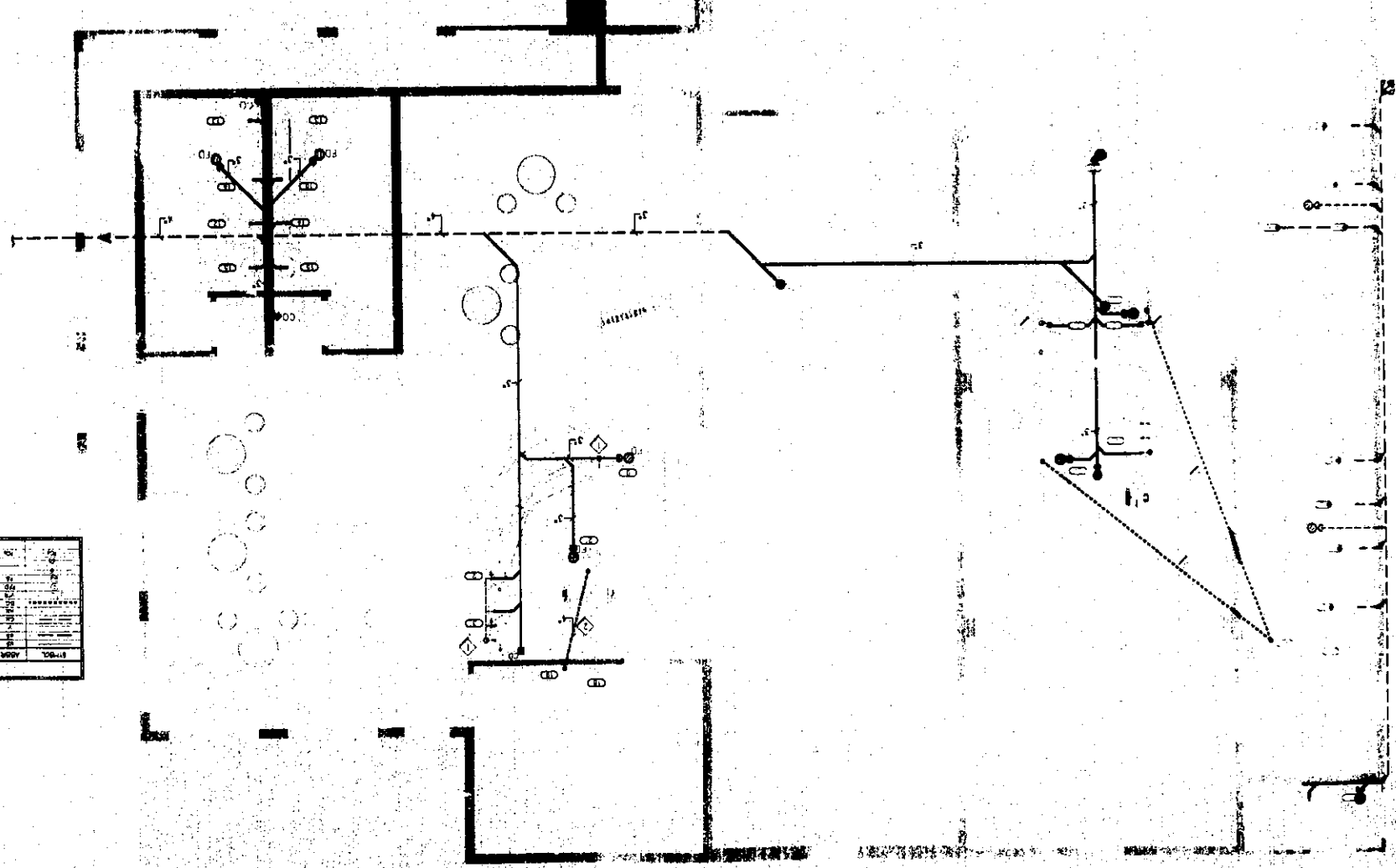
*[Signature]*



Bad engine

SANITARY/WASTE/VENT PLAN

NO.	DESCRIPTION	DATE	BY	CHECKED BY
01	WATER MAIN			
02	WATER SINK			
03	RED KITCHEN DOUBLE COMP. SINK			
04	RED KITCHEN TRIPLE COMP. SINK			
05	WATER MAIN			
06	WATER MAIN			
07	WATER MAIN			
08	WATER MAIN			
09	WATER MAIN			
10	WATER MAIN			
11	WATER MAIN			
12	WATER MAIN			
13	WATER MAIN			
14	WATER MAIN			
15	WATER MAIN			
16	WATER MAIN			
17	WATER MAIN			
18	WATER MAIN			
19	WATER MAIN			
20	WATER MAIN			
21	WATER MAIN			
22	WATER MAIN			
23	WATER MAIN			
24	WATER MAIN			
25	WATER MAIN			
26	WATER MAIN			
27	WATER MAIN			
28	WATER MAIN			
29	WATER MAIN			
30	WATER MAIN			



PLUMBING SYMBOL LEGEND

SYMBOL	DESCRIPTION
(Solid line)	NEW SANITARY
(Dashed line)	EXISTING SANITARY
(Dotted line)	PVC BEVERAGE CHASE
(Line with diagonal hatching)	BEVERAGE CHASE
(Line with cross-hatching)	STUDS VENT

PULSE ORLANDO  
1912 S. ORANGE AVE

AB & ASSOCIATES  
2400 HARBECK LANE  
SORRENTO, FLORIDA 32776

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OTHER USE IS PROHIBITED.  
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SEAL IS AFFIXED.  
© 2001

*[Signature]*





Bot Original

PLUMBING SCHEMATIC/ NOTE PLAN

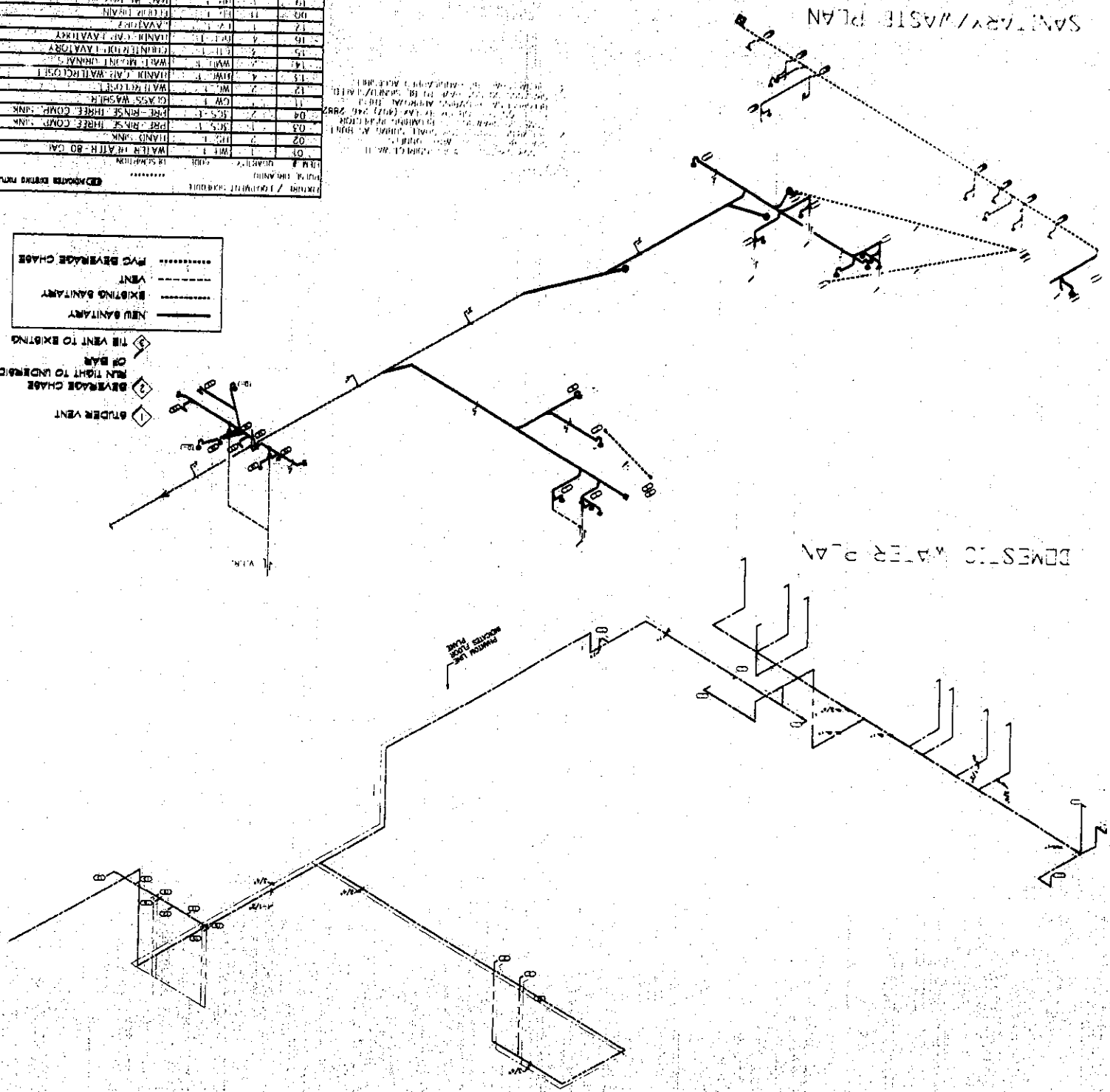
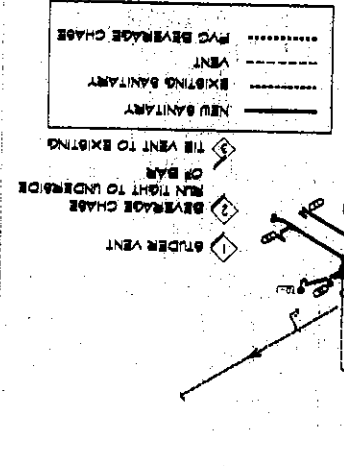
NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
01	WATER HEATER - 80 GAL	1	WT	100.00	100.00
02	HAND SINK	2	HS	15.00	30.00
03	PREFINISHED THREE COMP. SINK	2	PC	15.00	30.00
04	PREFINISHED THREE COMP. SINK	2	PC	15.00	30.00
05	CLASS WASH	1	CL	10.00	10.00
06	WATER	2	WT	10.00	20.00
07	WATER	4	WT	10.00	40.00
08	WATER	2	WT	10.00	20.00
09	WATER	2	WT	10.00	20.00
10	WATER	2	WT	10.00	20.00
11	WATER	2	WT	10.00	20.00
12	WATER	2	WT	10.00	20.00
13	WATER	2	WT	10.00	20.00
14	WATER	2	WT	10.00	20.00
15	WATER	2	WT	10.00	20.00
16	WATER	2	WT	10.00	20.00
17	WATER	2	WT	10.00	20.00
18	WATER	2	WT	10.00	20.00
19	WATER	2	WT	10.00	20.00
20	WATER	2	WT	10.00	20.00
21	WATER	2	WT	10.00	20.00
22	WATER	2	WT	10.00	20.00
23	WATER	2	WT	10.00	20.00

PULSE ORLANDO  
1912 S. ORANGE AVE.

AB & ASSOCIATES  
2403 HARBRICK LANE  
SORRENTO, FLORIDA 32776

**PLUMBING GENERAL NOTES**

- COORDINATE ALL PIPING ROUTING WITH ALL OTHER TRADES PRIOR TO INSTALLATION. ALL PIPING TO AVOID OBSTRUCTION THROUGH STRUCTURAL MEMBERS AND BUILDING STRUCTURE. IF PERMITATIONS THROUGH STRUCTURAL MEMBERS ARE REQUIRED FOR ROUTING, OBTAIN THE MAJOR ENGINEER AND ARCHITECT'S PERMISSION PRIOR TO INSTALLATION. THE CONTRACTOR SHALL OBTAIN THE MAJOR ENGINEER'S PERMISSION PRIOR TO ANY PERMITS AND SCHEDULING ON THE DRAWINGS IS CALLED FOR IN THE SPECIFICATIONS AND SCHEDULED ON THE DRAWINGS. DELAY IN SUBMITTING MATERIALS, DELAYING THE COMPLETION OF THE PROJECT, DELAY IN DELIVERIES WILL NOT BE CONSIDERED A JUSTIFIABLE REASON FOR SUBSTITUTION OF MATERIALS.
- ROUTE ALL PIPING CONCEALED ABOVE CEILING, WITHIN WALLS, OR IN CHASES EXCEPT AS SPECIFICALLY NOTED OR IN MECHANICAL ROOMS. PIPING SHALL NOT BE RUN THROUGH ELECTRICAL ROOMS OR CLOSES.
- SEAL AND FIRE STOP ALL PENETRATIONS OF RATED WALLS, CEILING, FLOORS, ETC. IN ACCORDANCE WITH APPROVED UL STANDARDS AND LOCAL CODES TO MAINTAIN RATINGS. SEE SPECIFICATION. SEE ARCHITECTURAL DRAWINGS FOR RATED WALLS AND FLOORS. PIPE ROUTING SHOWN IS SCHEDULED AND IS INTENDED TO MAINTAIN CLEARANCES AS ENCOUNTERED. PLUMBING CONTRACTOR SHALL PROVIDE ANY ADDITIONAL OFFSETS AND FITTINGS REQUIRED FOR PROPER INSTALLATION AND TO MAINTAIN CLEARANCES AS ENCOUNTERED IN FIELD.
- ALL PLUMBING INSTALLATION AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL CODES AND APPROVED STANDARDS, REGULATIONS, AND AUTHORITY HAVING JURISDICTION OVER THIS PROJECT.
- PROVIDE ACCESS PANELS TO ALL VALVES WITHIN CHASES OR ABOVE NON-ACCESSIBLE CEILING. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPES.
- INSTALL WATER HAMMER SHOCK ABSORBERS AT EACH FLOOR OR BATTERY OF FIXTURES WHERE REQUIRED. ABSORBERS SHALL BE FACTORY-APPROVED, INSTALLED, ACCEPTED AND SIZE PER PLUMBER AND DRAMAER INSTITUTE STANDARD P.I.T. M-201. ACCEPTED MANUFACTURERS - SOKAL, JOHNSON, JAY, FINE, SAKTHI, WATTS (MOTIS SERIES). MAKE, AIR CHANGERS ARE NOT ACCEPTABLE.
- SITE CONNECTIONS SHALL BE PROVIDED ON ONE-SITE PLUMBERS DRAWINGS. ALL SERVICES SHOWN ON THIS SET OF PLANS REMAINING TO BE PROVIDED BY OTHER TRADES SHALL BE SHOWN ON DRAWINGS. THIS CONTRACTOR SHALL MAKE ALL FINAL PLUMBING SERVICE CONNECTIONS TO SITE WORK UTILITIES.
- DRAINAGE PIPING SHALL SLOPE NO LESS THAN 1/8" FALL PER FOOT. SEE SPECIFICATION.
- REGULATION
- EXISTING CONDITIONS AS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL AND AS-BUILT DRAWINGS OF THE BUILDING AND IN FIELD. ALL EXISTING FIELD CONDITIONS SHALL GOVERN. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO INITIATION OF WORK.
- PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXISTING PLUMBING FIXTURES AND TRAP, PIPING, VALVES, ETC. IN AREAS TO BE DEMOLISHED.
- ALL EXISTING PIPING ABOVE THE FLOOR, NOT REMAINING IN SERVICE AFTER NEW CONSTRUCTION SHALL BE REMOVED. WHERE PIPING IS TO BE ABANDONED OR CAPPED, REMAINING IN SERVICE AFTER NEW CONSTRUCTION SHALL BE RELOCATED TO THE MAIN FLOOR AND ABOVE FLOOR WHERE PIPE CONNECTS TO THE MAIN RUN AS TO LEAVE NO DEAD END RUNS OF PIPING.
- EXISTING SANITARY, DOMESTIC WATER, AND RAIN WATER PIPING THAT ARE LOCATED IN EXISTING WALLS TO BE DEMOLISHED AND REMOVED IN SERVICE AFTER CONSTRUCTION SHALL BE RELOCATED TO NEW WALLS, CHASES, ETC.
- PIPING WHICH IS TO REMAIN IN SERVICE SHALL NOT BE DAMAGED. EXISTING PIPING BROKEN DURING CONSTRUCTION SHALL BE REPLACED WITH NEW PIPING OF THE SAME SIZE AND MATERIAL.
- PATCH AT EXISTING WALLS, FLOORS, CEILING, ETC. AS REQUIRED BY NEW WORK IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS.
- THE CONTRACTOR SHALL TEST ALL NEW AND EXISTING NATURAL GAS PIPING FOR LEAKS ON SIGNIFICANT DEFORMATION.
- ALL EXISTING PLUMBING FIXTURES TO BE REMOVED AND ARE NOT TO BE REUSED SHALL REACH THE PROPERTY OF THE OWNER, DISCARD UNWANTED FIXTURES AT THE DISCRETION OF THE OWNER.
- PLUMBING CONTRACTOR SHALL SUBMIT SHOP DRAWINGS APPROVED BY THE AUTHORITY HAVING JURISDICTION OVER THIS PROJECT AND PLUMBING DRAWINGS AS A RESULT OF EXISTING SITE CONDITIONS AND/OR EXISTING PIPING LOCATIONS.
- EXISTING BUILDING FIXTURES THAT ARE USED WITH NEW BUILDING SANITARY FIXTURES SHALL BE EXAMINED AND TESTED TO CONFORM TO ALL THE REQUIREMENTS OF PLUMBING AUTHORITY HAVING JURISDICTION AND APPLICABLE PLUMBING CODES.



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But engine

PLUMBING SCHEMATIC/ NOTE PLAN

NO.	DESCRIPTION	QTY	UNIT
01	WATER HEATER 80 GAL	1	EA
02	HAND SINK	2	EA
03	BRE. RINSE THREE COMP. SINK	1	EA
04	BRE. RINSE THREE COMP. SINK	1	EA
05	WATER WASH	1	EA
06	WATER WASH	1	EA
07	WATER WASH	1	EA
08	WATER WASH	1	EA
09	WATER WASH	1	EA
10	WATER WASH	1	EA
11	WATER WASH	1	EA
12	WATER WASH	1	EA
13	WATER WASH	1	EA
14	WATER WASH	1	EA
15	WATER WASH	1	EA
16	WATER WASH	1	EA
17	WATER WASH	1	EA
18	WATER WASH	1	EA
19	WATER WASH	1	EA
20	WATER WASH	1	EA
21	WATER WASH	1	EA
22	WATER WASH	1	EA
23	WATER WASH	1	EA
24	WATER WASH	1	EA
25	WATER WASH	1	EA
26	WATER WASH	1	EA
27	WATER WASH	1	EA
28	WATER WASH	1	EA
29	WATER WASH	1	EA
30	WATER WASH	1	EA

PULSE ORLANDO  
1912 S. ORANGE AVE.

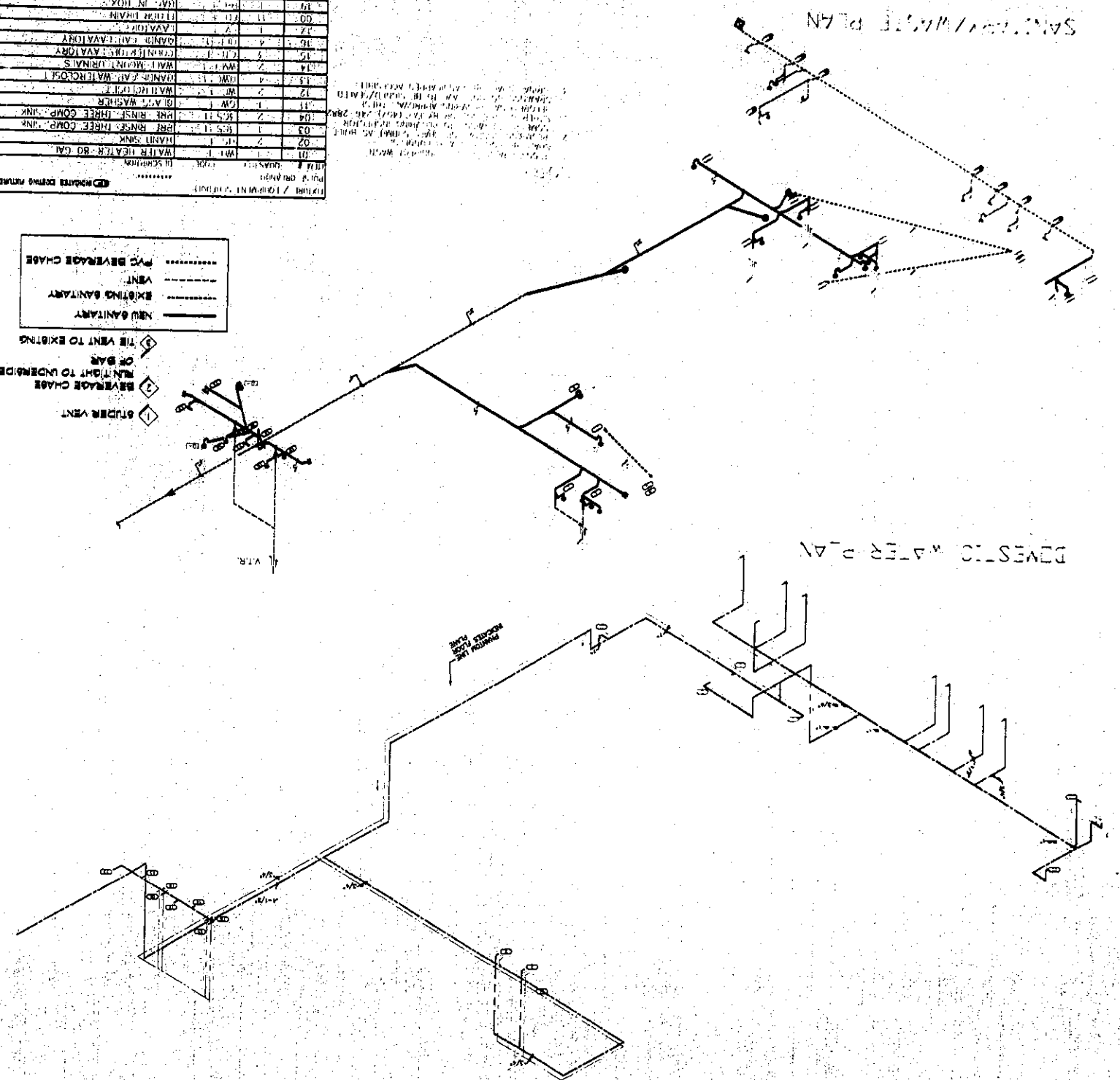
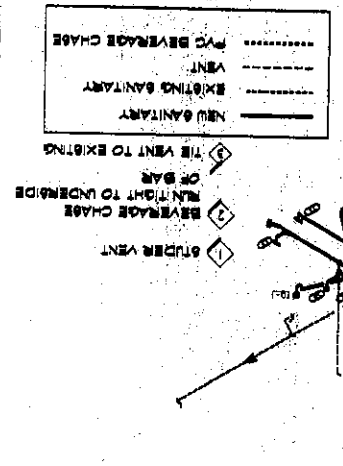
AB & ASSOCIATES  
2403 HARBECK LANE  
SOPORRITO, FLORIDA 32776

**PLUMBING GENERAL NOTES**

- COORDINATE ALL PIPING ROUTING WITH ALL OTHER TRADES PRIOR TO INSTALLATION. IF PENETRATIONS THROUGH STRUCTURAL MEMBERS AND BLOCKING FOR PLUMBING ARE NOT SHOWN, NOTIFY ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO INSTALLATION TO ENSURE THAT STRUCTURAL INTEGRITY IS MAINTAINED.
- THE CONTRACTOR SHALL OBTAIN THE REQUIRED PERMITS AS SCHEDULED OR SPECIFIED, USING THE MANUFACTURERS AND MODEL NUMBER DATA SHEETS FOR PLUMBING MATERIALS, FITTINGS, AND FIXTURES.
- THE CONTRACTOR IS EXPECTED TO ORDER ALL MATERIALS IN SUFFICIENT TIME TO AVOID DELAYS IN THE COMPLETION OF THE PROJECT. DELAY IN DELIVERY WILL NOT BE CONSIDERED A JUSTIFIABLE REASON FOR SUSPENSION OF SCHEDULED MATERIALS.
- ROUTE ALL PIPING CONCEALED ABOVE CEILING, WITHIN WALLS, OR IN CHASES EXCEPT AS SPECIFIED IN NOTES, OR IN MECHANICAL ROOMS. PIPING SHALL NOT BE RUN THRU ELECTRICAL ROOMS OR CLOSES.
- SLAVE AND FIRE STOP ALL PENETRATIONS OF RATED WALLS, CEILING, FLOORS, ETC. IN ACCORDANCE WITH APPLICABLE UL STANDARDS AND LOCAL CODES TO MAINTAIN RATINGS. SEE SPECIFICATION, SEE ARCHITECTURAL DRAWINGS FOR RATED WALLS AND FLOORS.
- PIPE ROUTING SHOWN IS SCHEDULED AND IS INTENDED TO INDICATE GENERAL ROUTING. PLUMBING CONTRACTOR SHALL PROVIDE ANY ADDITIONAL FITTINGS AND CLEANANCES AS ENCOUNTERED IN FIELD.
- ALL PLUMBING INSTALLATION AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES AND APPLICABLE STANDARDS, REGULATIONS, AND AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
- PROVIDE ACCESS PANELS TO ALL VALVES WITHIN CHASES OR ABOVE NON-ACCESSIBLE CEILING. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPES.
- INSTALL WATER HAMMER SHOCK ARRESTORS AT EACH FIXTURE OR BATTERY OF FIXTURES WHERE REQUIRED. ARRESTORS SHALL BE FACTORY-FABRICATED, INSTALLED ACCEPTED MANUFACTURERS - SOUV. CHIEF, ORANGE AND ORANGE COUNTY DISTRICT, INSTALLED AND SEE PIPE SCHEDULE AND DRAWING NOTES FOR SCHEDULE AND MANUFACTURER. AIR CHARGERS ARE NOT ACCEPTABLE.
- SITE CONNECTIONS SHALL BE PROVIDED ON GYL. SITE UTILITIES DRAWINGS. ALL SERVICES SHOWN ON THIS SET OF PLANS TERMINATE 2'-0" FROM BUILDING UNLESS SHOWN OTHERWISE ON DRAWINGS. THIS CONNECTION SHALL MAKE ALL FINAL PLUMBING SERVICE CONNECTIONS TO SITE WORK UTILITIES.
- DRAINAGE PIPING SHALL HAVE A SLOPE NO LESS THAN 1/8" FALL PER FOOT. SEE SPECIFICATION.

**RENOVATION**

- EXISTING CONDITIONS AS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL AND AS-BUILT DRAWINGS OF THE BUILDING AND IN PART ARE THE PROPERTY OF THE FIELD CONDITIONS SHALL GOVERN. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO INITIATION OF WORK.
- PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXISTING PLUMBING, FITTINGS, AND TRAP PIPING, VALVES, ETC. IN AREAS TO BE DEMOLISHED.
- EXISTING PIPING ABOVE THE FLOOR, NOT REMAINING IN SERVICE AFTER NEW CONSTRUCTION, SHALL BE REMOVED. ALL EXISTING PIPING BELOW THE FLOOR, NOT REMAINING IN SERVICE AFTER NEW CONSTRUCTION, SHALL BE DEMOLISHED. ALL EXISTING PIPING REMAINING IN SERVICE AFTER NEW CONSTRUCTION SHALL BE RELOCATED ON CHASES OR PIPING BELOW FLOOR AND ABANDONED. WHERE PIPING IS TO BE ABANDONED, CAP PIPING RUN AS TO LEAVE NO DEAD END RUNS OF PIPING.
- ALL EXISTING SANITARY CONDENSATE WATER AND RAIN WATER PIPING THAT ARE LOCATED IN EXISTING WALLS TO BE DEMOLISHED AND REMAINING IN SERVICE AFTER CONSTRUCTION SHALL BE RELOCATED TO NEW WALLS, CHASES, ETC.
- PIPING WHICH IS TO REMAIN IN SERVICE SHALL NOT BE DEMOLISHED. EXISTING PIPING BROKEN DURING CONSTRUCTION SHALL BE REPLACED WITH NEW PIPING OF THE SAME SIZE AND MATERIAL.
- PATCH AT EXISTING WALLS, FLOORS, CEILING, ETC. AS REQUIRED BY NEW WORK IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS.
- THIS CONTRACTOR SHALL TEST ALL NEW AND EXISTING NATURAL GAS PIPING FOR LEAKS OR PENETRANT DETECTION.
- EXISTING PLUMBING FIXTURES TO BE REMOVED AND ARE NOT TO BE REUSED SHALL REMAIN THE PROPERTY OF THE OWNER.
- PLUMBING CONTRACTOR SHALL SUBMIT SHOP DRAWINGS APPROVED BY THE AUTHORITIES HAVING JURISDICTION FOR ANY PIPING OR PLUMBING EQUIPMENT AS A RESULT OF EXISTING SITE CONDITIONS AND/OR EXISTING PIPING LOCATIONS.
- EXISTING BUILDING SERVICES THAT ARE USED WITH NEW BUILDING SERVICES SHALL BE REMOVED AND TESTED IN ALL RESPECTS TO ALL THE REQUIREMENTS OF PLUMBING AUTHORITIES HAVING JURISDICTION AND APPLICABLE PLUMBING CODES.



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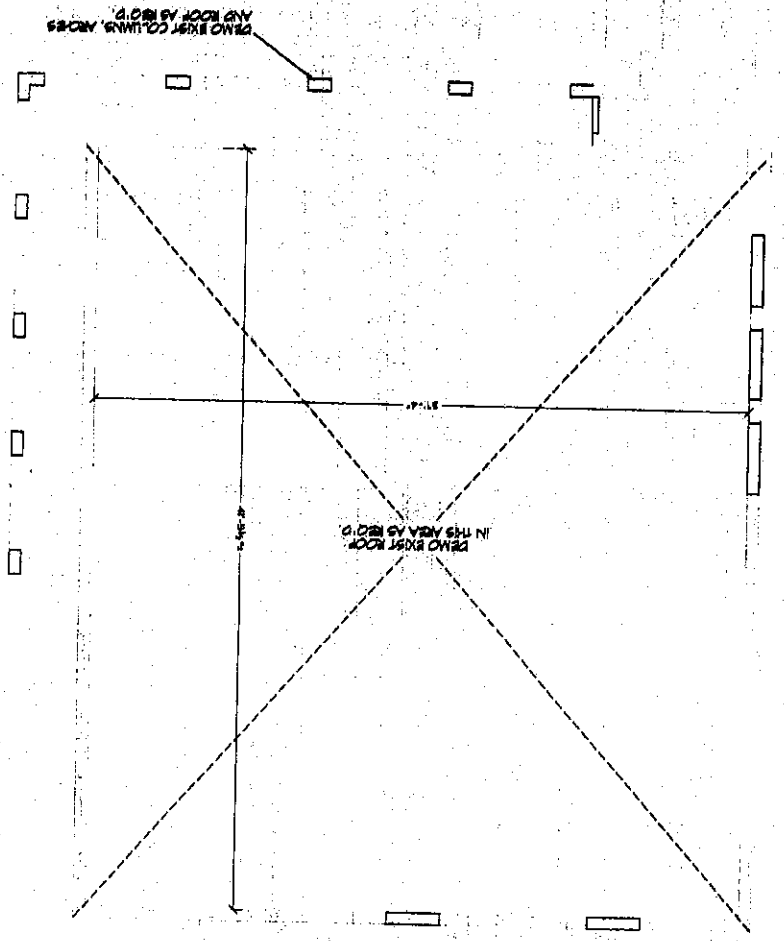




Bad original

# DEMOLITION PLAN

SCALE 1/4" = 1'-0"



David Stanley, P.E.  
 No. 12594  
 State of Florida  
 expires 12/31/2008

PROJECT NO. \_\_\_\_\_  
 SHEET NO. \_\_\_\_\_  
**FULSE ORLANDO**  
 ORLANDO, FLORIDA

ARCHITECTS - ENGINEERS - DESIGNERS  
**AB & ASSOCIATES**  
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 A.D.T. BESCIA  
 commercial design specialist

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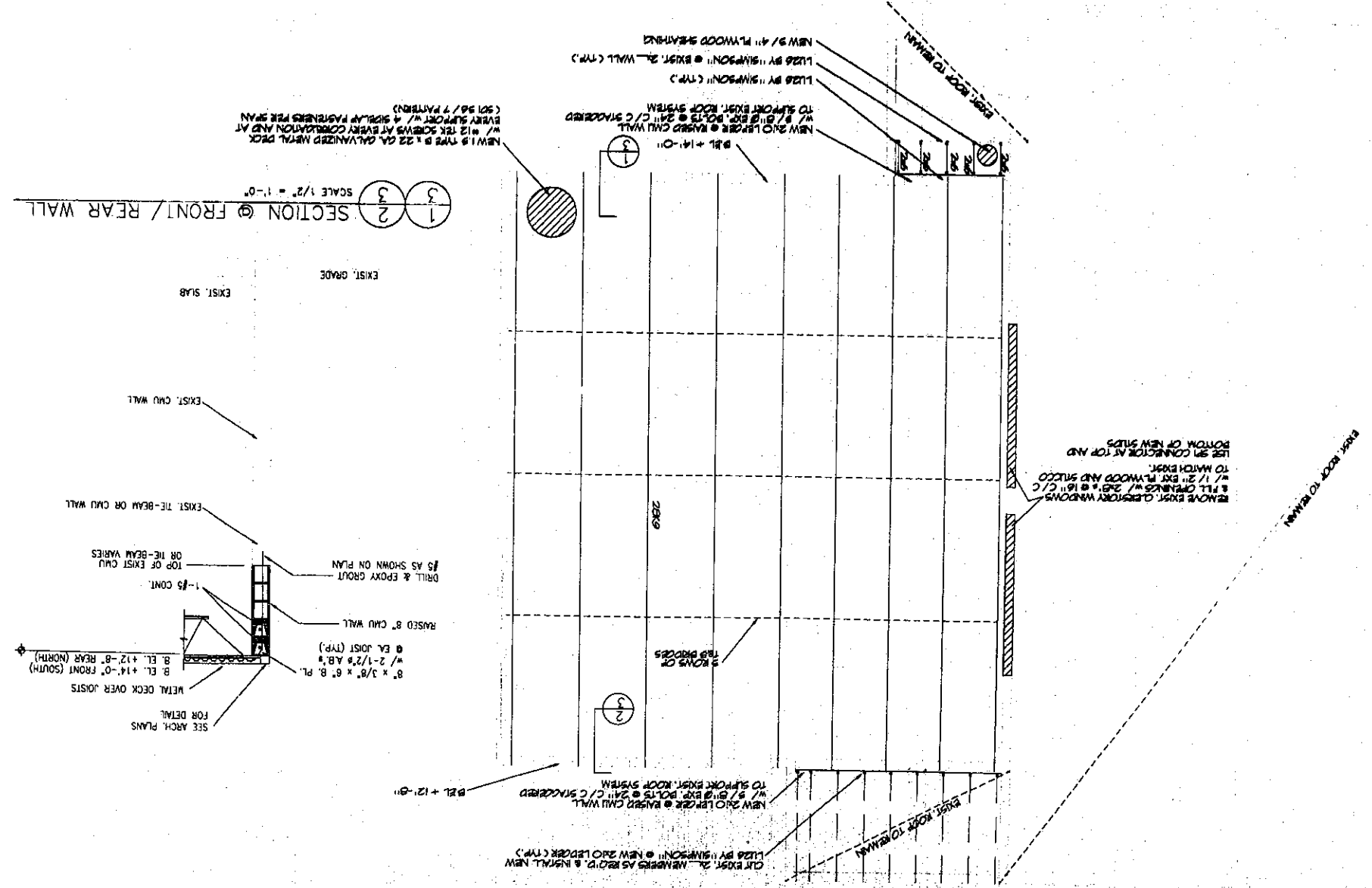
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 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_



Bad drawing

# REMODELING ROOF PLAN

SCALE 1/4" = 1'-0"



David Shady, P.E. No. 25093  
 State of Florida  
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 Orange, FL 32813  
 (407) 346-4400

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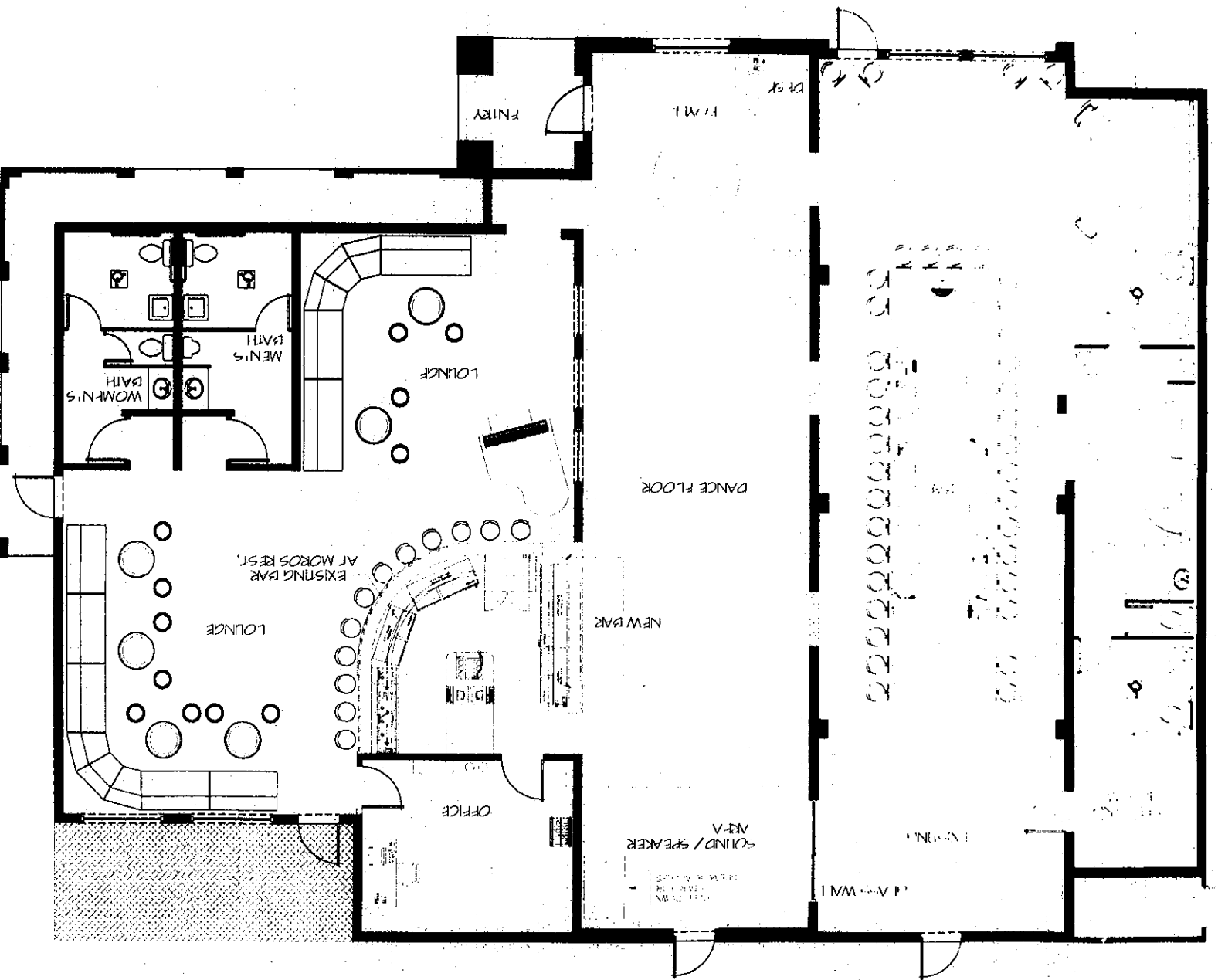
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Bob Oringer



PLUSE ORLANDO  
1912 S. ORANGE AVENUE

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*Handwritten signature*

Bad engine

ELECTRICAL LIGHTING PLAN

PULSE ORLANDO  
1912 S. ORANGE AVENUE

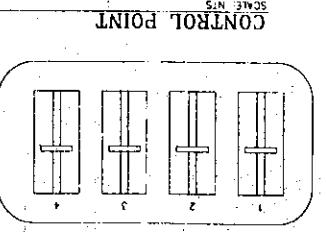
AB & ASSOCIATES  
2403 HARBECKLANE  
SOPRANTO, FLORIDA 32776

DATE: 10/20/03  
DRAWN: JMM/MLT  
CHECKED: JMM/MLT

ON: PULSE ORLANDO  
AS NOTED ON EQUIP.

NO.	DESCRIPTION	QTY	UNIT
A	10' RATED 1" HOODS ON THE	120	OWNER SELECT
AV	DATA CONNECTION FOR WAVE	120	APP. CHASE
B	1" RATED 1" HOODS ON THE	120	OWNER SELECT
C	2 X 2 RECESSED FLUORESCENT	120	OWNER SELECT
D	2" RATED 1" HOODS ON THE	120	OWNER SELECT
E	2" RATED 1" HOODS ON THE	120	OWNER SELECT
F	2" RATED 1" HOODS ON THE	120	OWNER SELECT
G	2" RATED 1" HOODS ON THE	120	OWNER SELECT
H	2" RATED 1" HOODS ON THE	120	OWNER SELECT
I	2" RATED 1" HOODS ON THE	120	OWNER SELECT
J	2" RATED 1" HOODS ON THE	120	OWNER SELECT
K	2" RATED 1" HOODS ON THE	120	OWNER SELECT
L	2" RATED 1" HOODS ON THE	120	OWNER SELECT
M	2" RATED 1" HOODS ON THE	120	OWNER SELECT
N	2" RATED 1" HOODS ON THE	120	OWNER SELECT
O	2" RATED 1" HOODS ON THE	120	OWNER SELECT
P	2" RATED 1" HOODS ON THE	120	OWNER SELECT
Q	2" RATED 1" HOODS ON THE	120	OWNER SELECT
R	2" RATED 1" HOODS ON THE	120	OWNER SELECT
S	2" RATED 1" HOODS ON THE	120	OWNER SELECT
T	2" RATED 1" HOODS ON THE	120	OWNER SELECT
U	2" RATED 1" HOODS ON THE	120	OWNER SELECT
V	2" RATED 1" HOODS ON THE	120	OWNER SELECT
W	2" RATED 1" HOODS ON THE	120	OWNER SELECT
X	2" RATED 1" HOODS ON THE	120	OWNER SELECT
Y	2" RATED 1" HOODS ON THE	120	OWNER SELECT
Z	2" RATED 1" HOODS ON THE	120	OWNER SELECT

LIGHT FIXTURE SCHEDULE

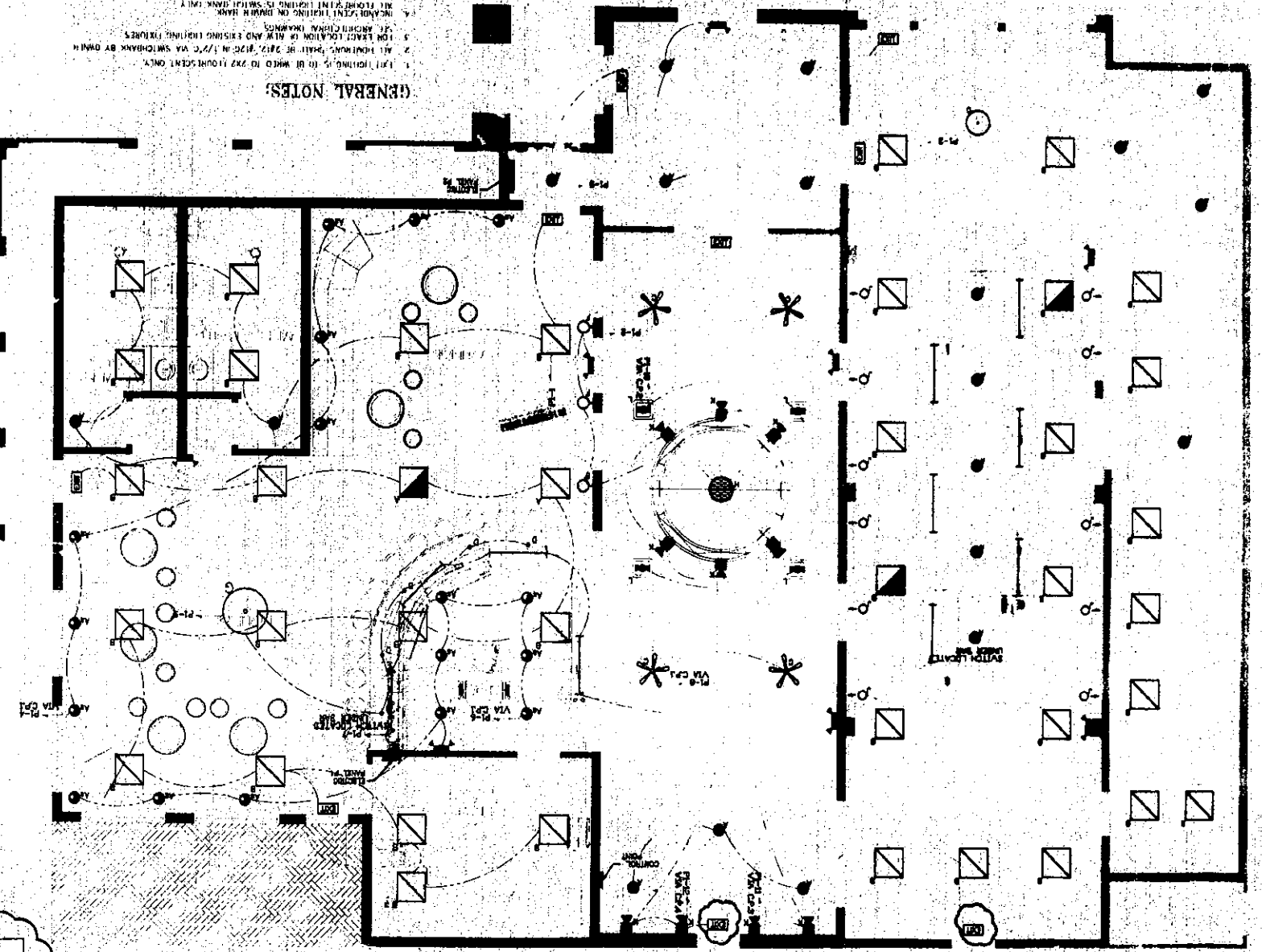


Note:  
EMERGENCY AND EXIT LIGHTING  
ARE TO BE AHEAD OF ALL SWITCHING/CONTROL

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GENERAL NOTES

1. ALL LIGHTING IS TO BE AHEAD OF ALL SWITCHING/CONTROL
2. ALL LIGHTING SHALL BE 2' X 2' IN SIZE, 1/2" VIA SWITCHING BY OWNER
3. FOR EXACT LOCATION OF NEW AND EXISTING LIGHTING FIXTURES SEE ARCHITECTURAL DRAWINGS
4. INCANDESCENT LIGHTING ON DIMMER BANK
5. ALL LIGHTING SHALL BE 120V AC, 60 HZ, 1/2" VIA SWITCHING BY OWNER



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HVAC DETAILS/NOTE PLAN

PULSE ORLANDO  
1912 S. ORANGE AVENUE

AB & ASSOCIATES  
2440 HARBECK LANE  
SORRENTO, FLORIDA 32776

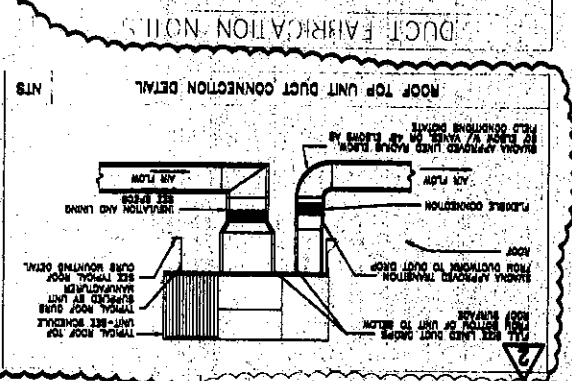
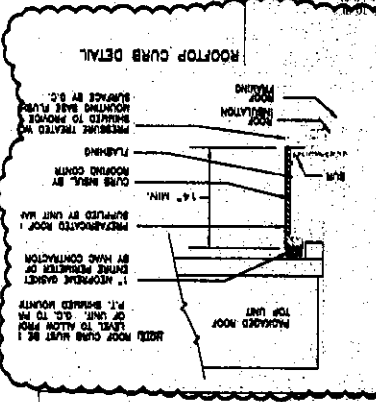


TABLE 2.1 COMMERCIAL FACILITIES

INDOOR OUTSIDE AIR CFM	INDOOR OUTSIDE AIR CFM	INDOOR OUTSIDE AIR CFM
120	120	120
120	120	120
120	120	120

AIR BALANCE

EXHAUST AIR CFM	EXHAUST AIR CFM	EXHAUST AIR CFM
600/PER	600/PER	600/PER
120	120	120
120	120	120

SYMBOLS

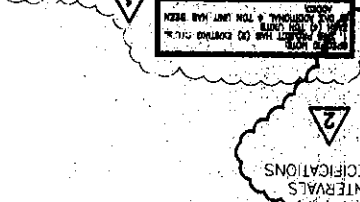
SYMBOL	DESCRIPTION
(Symbol)	DUCT
(Symbol)	INSULATION
(Symbol)	FLASHING
(Symbol)	UNIT

SHOWING OF RTU CALCULATIONS

**HVAC GENERAL NOTES**

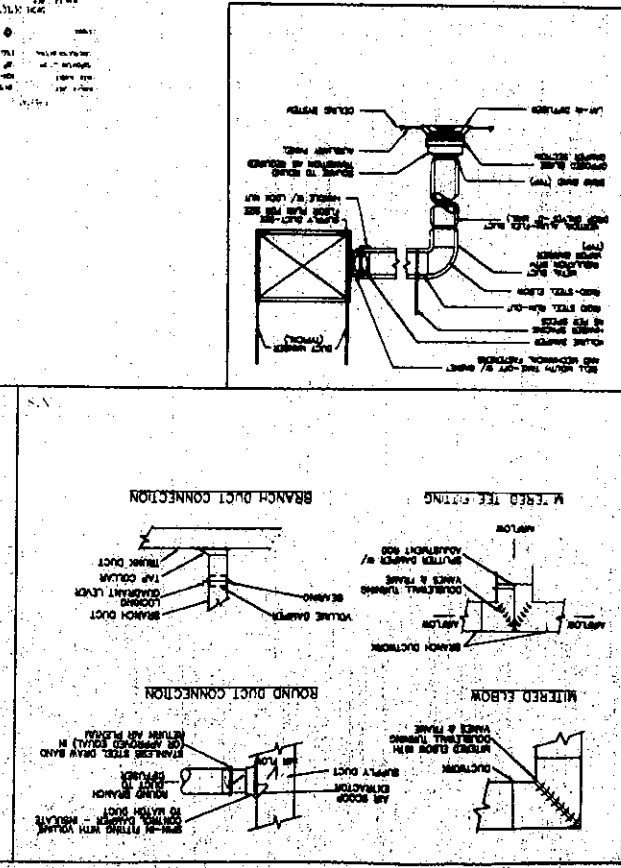
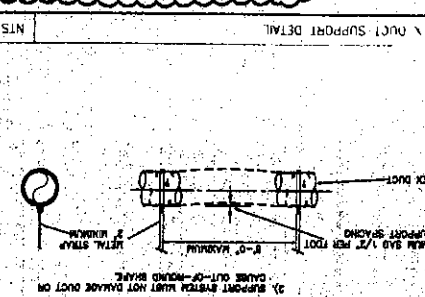
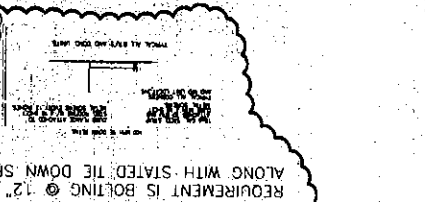
1. THE SIZE, LOCATION, WEIGHT, ELECTRICAL LOADS, AND SERVICE CLEARANCES OF EQUIPMENT SHALL BE COORDINATED WITH THE OTHER TRADES.
2. EQUIPMENT SHALL BE LOCATED TO ALLOW EASY ACCESS FOR SERVICING, REPAIRS, AND SERVICE CLEARANCES FOR REPAIRS OR MAINTENANCE. PROVIDE RECOMMENDATIONS.
3. WHERE CONDUIT LOCATIONS ARE SHOWN, THERE IS A POSSIBILITY OF CONFLICT BETWEEN JOISTS. CROSS OVER DUCTS OR TRAVEL TRAYS OR BETWEEN JOISTS. PROVIDE CLEAR SPACES BETWEEN JOISTS.
4. MECHANICAL CONTRACTOR SHALL COORDINATE ALL LOCATIONS WHERE DUCTS WILL CROSS OVER THE TRAYS. SHALL BE APPROVED BY THE ARCHITECT BEFORE INSTALLATION. BASED ON FIELD MEASUREMENTS AND AFTER CONSULTATION AND AGREEMENT SHALL BE MADE ON THE TRAYS. CONSULT ARCHITECT DRAWINGS SHALL BE MADE.
5. MECHANICAL CONTRACTOR SHALL COORDINATE WITH ARCHITECT AND GENERAL CONTRACTOR ON REPAIRS FOR STRUCTURAL SUPPORT AND FINISHES. RESPONSIBLE FOR PROVIDING AND VERIFYING STRUCTURAL SUPPORT AND FINISHES TO ALL DUCTWORK.
6. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO PURCHASING EQUIPMENT AND PRIOR TO CUTTING OPENINGS.
7. DETAILS SHOWN ARE SEQUENTIAL - NOT ACTUAL SECTIONS.
8. OUTSIDE AIR INTAKES SHALL BE A MINIMUM OF 12" ABOVE THE ROOF AND A MINIMUM OF 10'-0" FROM ANY EXHAUST OR RETURN VENT.
9. ALL OUTSIDE AIR DUCTWORK SHALL BE SHEET METAL.
10. ALL RETURN DUCTWORK SHALL BE INSULATED TO PREVENT THE MINIMUM R-10.
11. ALL RETURN DUCTWORK SHALL BE INSULATED TO PREVENT THE MINIMUM R-10.
12. PROVIDE 120 VOLT WEATHERPROOF OUTLET WITHIN 25 FEET OF ALL ROOF FANS OR EXHAUST FANS. PROVIDE CONDUIT WITH AND CONDUIT BETWEEN AS REQUIRED TO MARKERS. SEPARATE CONDUIT WITH ELECTRICAL CONTRACTOR. RETURN SHALL BE IN SEPARATE CONDUIT. PROVIDE AS PART OF PACKAGE BY MANUFACTURER.
13. MECHANICAL CONTRACTOR SHALL FURNISH WORK STATIONS FOR ALL MECHANICAL CONTRACTORS. STATIONS SHALL BE MARKED BY DIVISION 15. PACKAGED TO PREVENT DAMAGE TO OTHER TRADES. PROVIDE AS PART OF PACKAGE BY MANUFACTURER.
14. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL WORK. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL WORK. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL WORK.
15. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL WORK. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL WORK.

NOTE: SHADOWED AREA HAS EXISTING HVAC SYSTEM WITH NO ALTERATIONS REQUIRED. NEW & TYPICAL UNIT DUCT EXISTING FRONT SECTION WILL BE UTILIZING (2) EXISTING WITH NO ALTERATIONS REQUIRED.



TABLE

NO.	DESCRIPTION	QUANTITY
1	DUCT	100
2	HANGER	100
3	ROOF	100
4	UNIT	100



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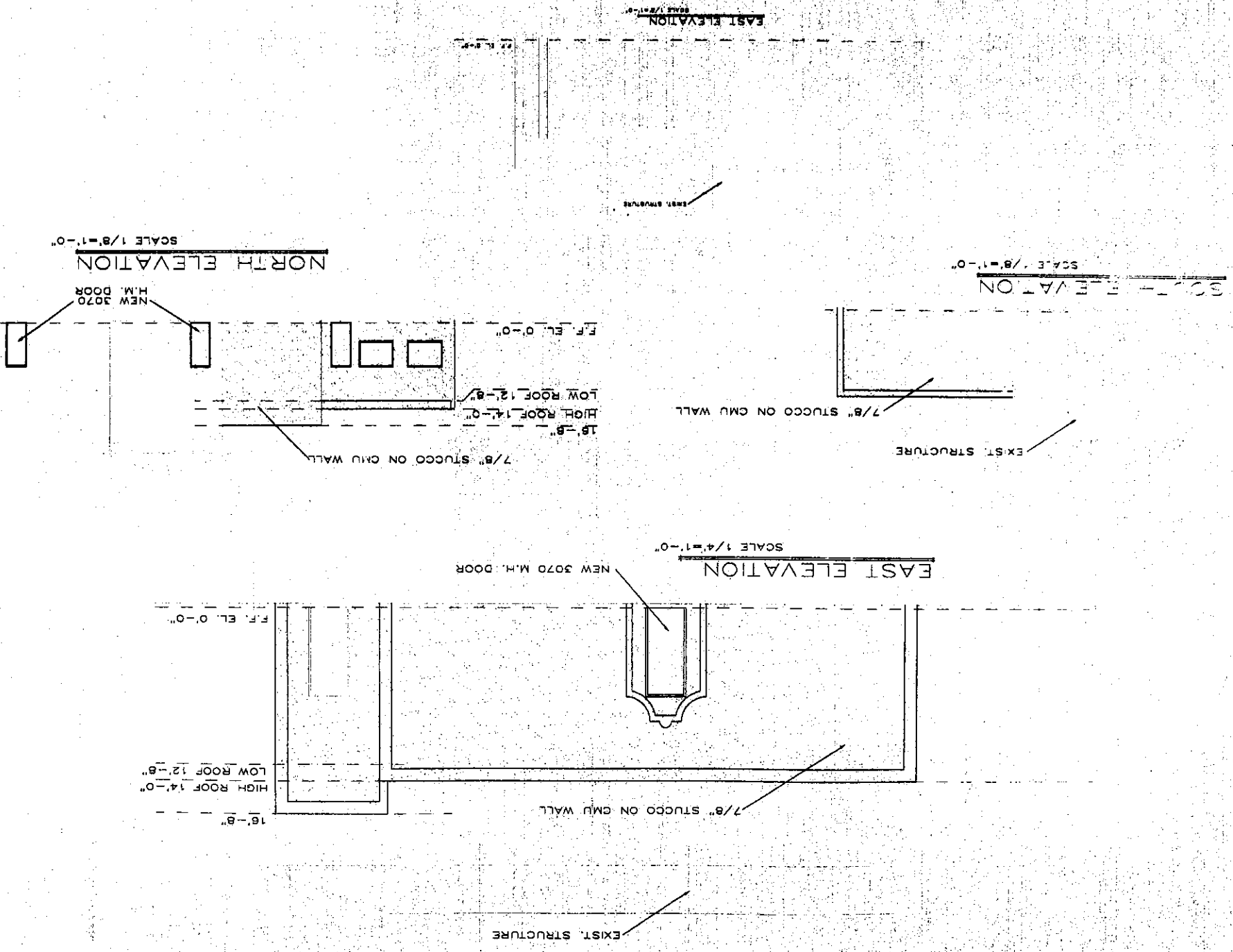
Professional Engineer Seal  
Professional Engineer  
State of Florida  
No. 12,209  
Date: 1/16/09

33  
ORLANDO  
FLORIDA

ARCHITECTS - ENGINEERS - DESIGNERS  
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ANDY BESCIA  
commercial design studio

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NORTH ELEVATION  
SCALE 1/8"=1'-0"

SOUTH ELEVATION  
SCALE 1/8"=1'-0"

EAST ELEVATION  
SCALE 1/4"=1'-0"

Bill Bryner

Professional Engineer  
Florida License No. 28098  
David Henry M. M.E. 2008  
David Henry M. M.E. 2008  
David Henry M. M.E. 2008  
David Henry M. M.E. 2008

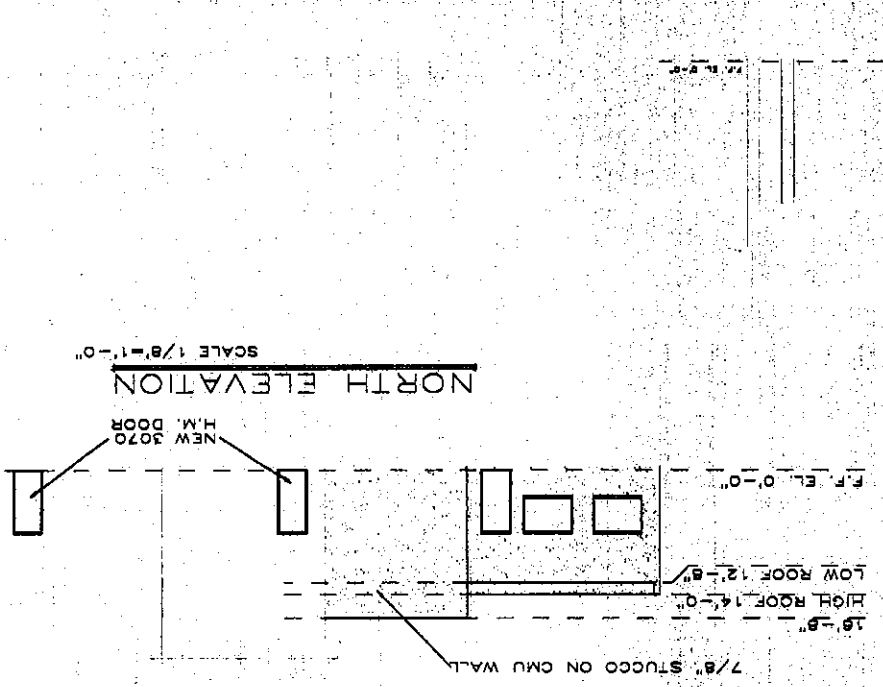
PROJECT ORLANDO  
FLORIDA

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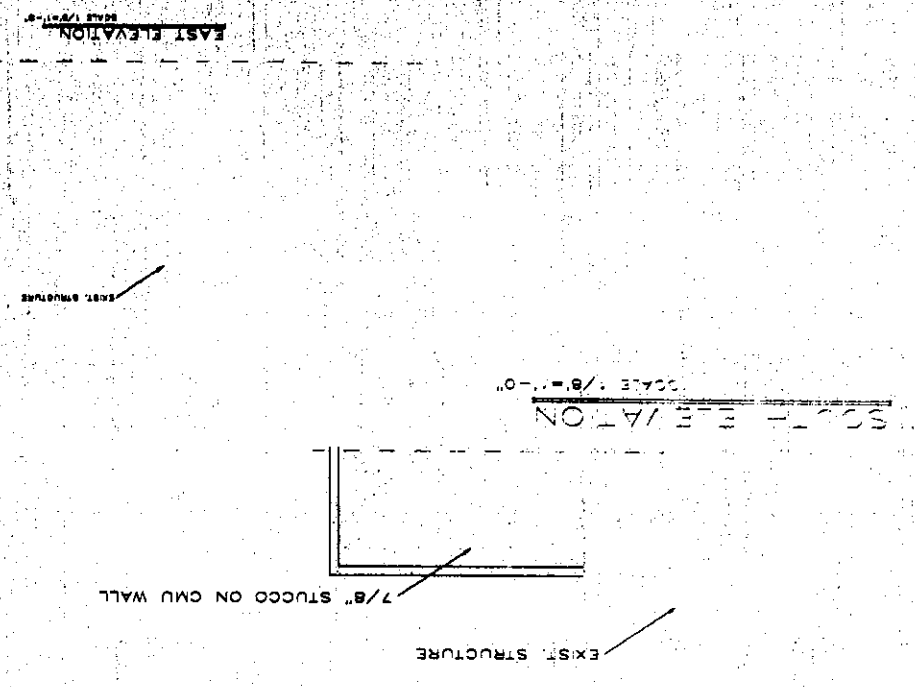
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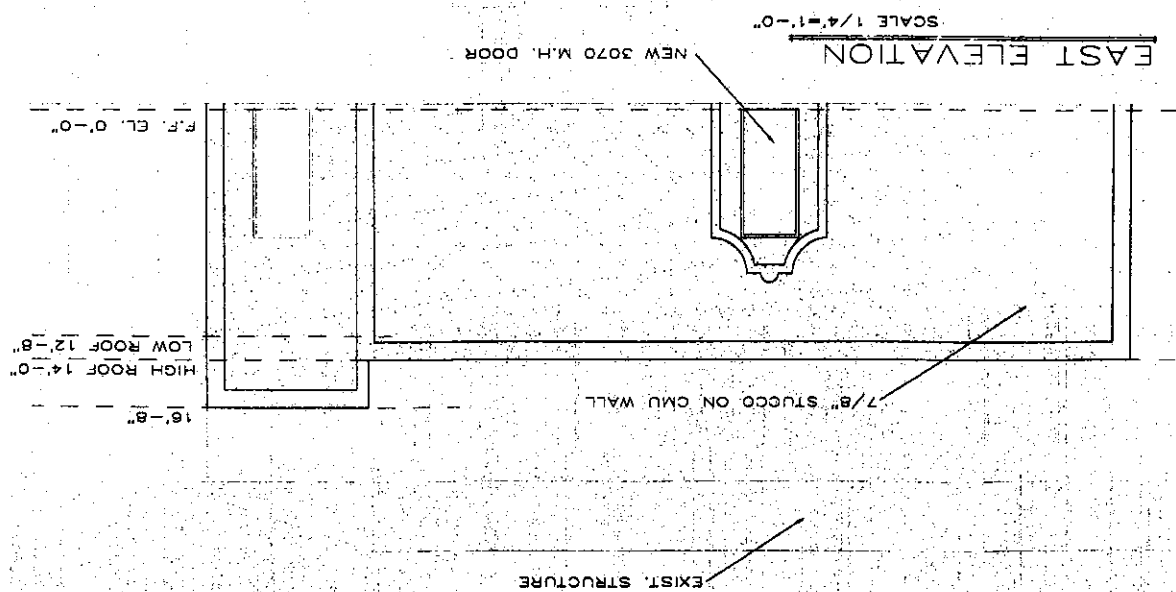
2-16-11  
JMB



NORTH ELEVATION  
SCALE 1/8"=1'-0"



SOUTH ELEVATION  
SCALE 1/8"=1'-0"



EAST ELEVATION  
SCALE 1/4"=1'-0"







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PROJECT SHEET 01/10/04

DATE NO. DRAWN

4

DRAWING NO.

IMPULSE NIGHT CLUB

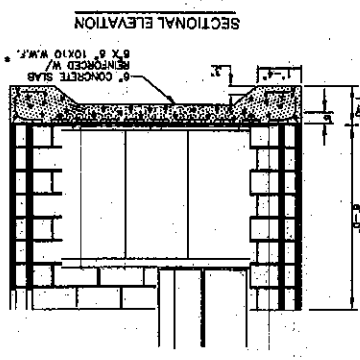
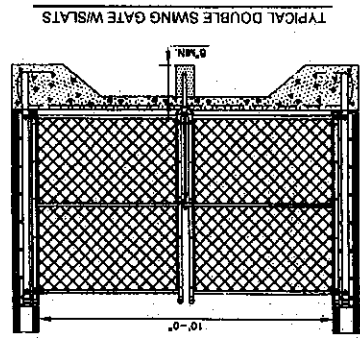
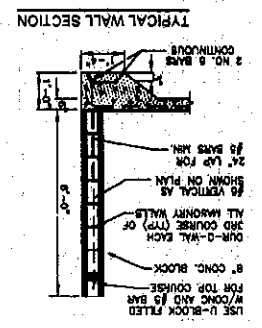
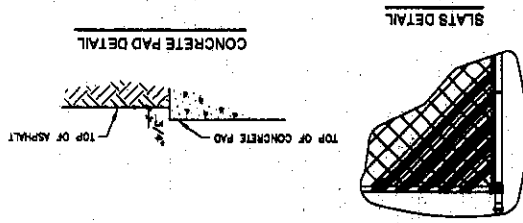
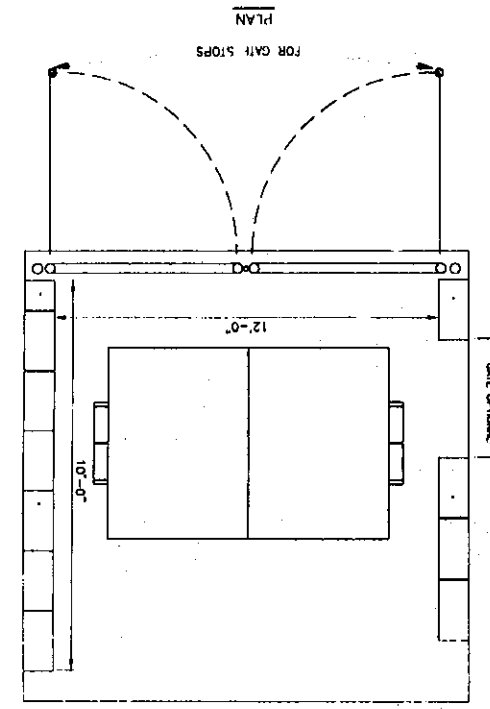
GENERAL SITE DETAILS

KEN EHLERS, P.E.  
CONSULTING ENGINEER  
6034 FALCONBRIDGE PLACE  
MOUNT DORA, FLORIDA 32757  
TEL. 1 - 352-383-0780  
Fax 1-352-383-8650

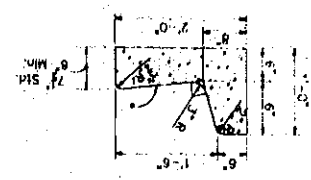
NO.	DATE	REVISION

REINFORCED CONCRETE, 11.1% #3024

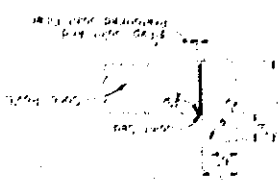
DUMPSTER ENCLOSURE DETAIL  
NOT TO SCALE



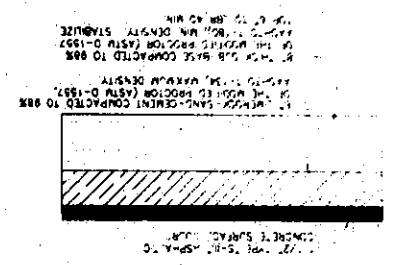
TYPE "F" CURB  
NOT TO SCALE



TYPE "D" CURB  
NOT TO SCALE

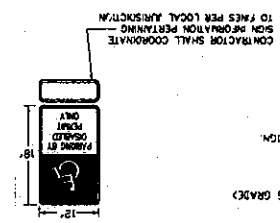


TYPICAL PAVEMENT SECTION  
NOT TO SCALE



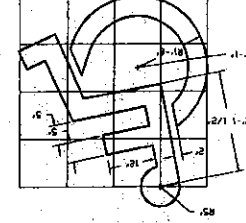
DISABLED PARKING DETAILS  
NOT TO SCALE

HANDICAP PARKING SIGN  
N.T.S.

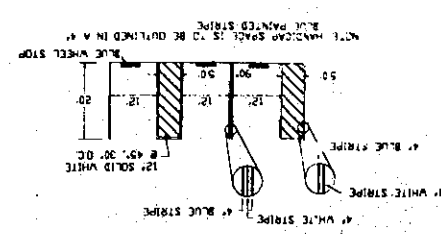


- NOTES
1. ALL LETTERS ARE 1/2" SIZE FOR PER M.I.T.C.
  2. TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED ENGINEERING GRADED BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
  3. LETTER BACKGROUNDS SHALL HAVE A REFLECTORIZED ENGINEERING GRADE WHITE BACKGROUND WITH BLACK SHADE LETTERS AND BORDER.
  4. SIGN OF SIGN IS REQUIRED FOR EACH PARKING SPACE.
  5. HEIGHT OF SIGN SHALL BE FROM FINISHED GROUND TO BOTTOM OF SIGN.

HANDICAP SYMBOL DETAIL  
N.T.S.



TYPICAL DISABLED MARKING SECTION  
N.T.S.





Bad original

PROJECT SHEET 01/24/78

REVISIONS

4  
DRAWING NO.  
JOB NO. 00000

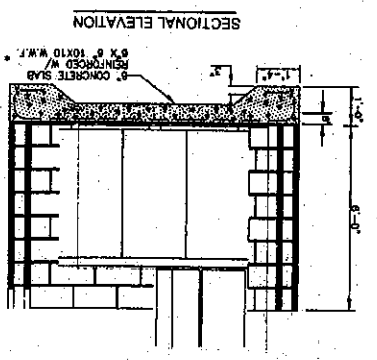
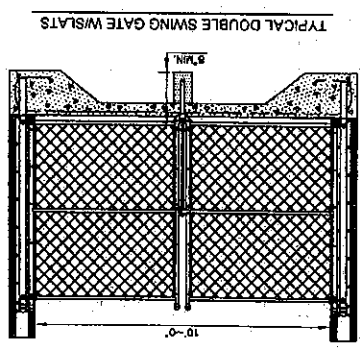
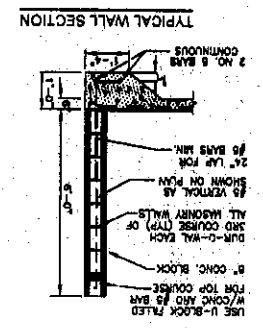
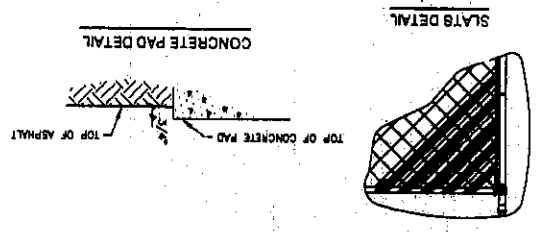
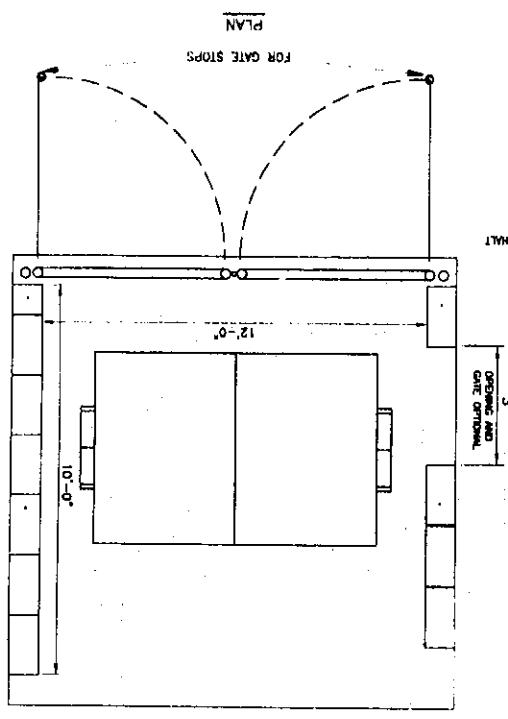
IMPULSE NIGHT CLUB

GENERAL SITE DETAILS

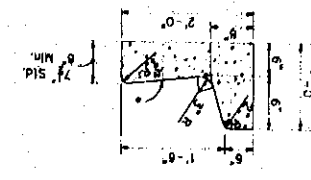
**KEN EHLERS, P.E.**  
CONSULTING ENGINEER  
6034 FALCONBRIDGE PLACE  
MOUNT DORA, FLORIDA 32757  
TEL. 1-352-383-0760  
FAX 1-352-383-9890

NO.	REVISION	DATE

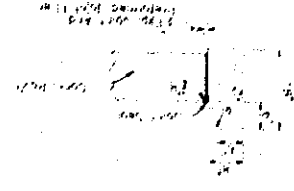
**DUMPSTER ENCLOSURE DETAIL**  
NOT TO SCALE



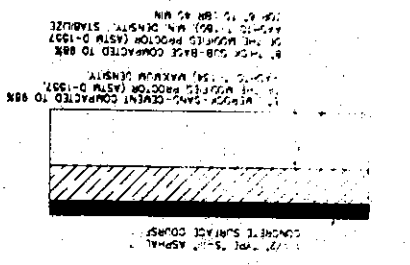
**TYPE "D" CURB**  
NOT TO SCALE



**TYPE "D" CURB**  
NOT TO SCALE

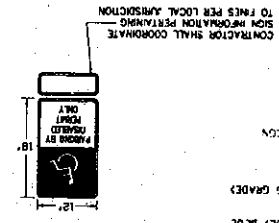


**TYPICAL PAVEMENT SECTION**  
NOT TO SCALE

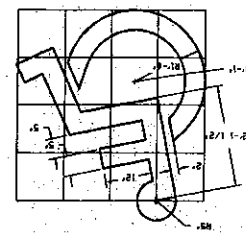


**DISABLED PARKING DETAILS**  
NOT TO SCALE

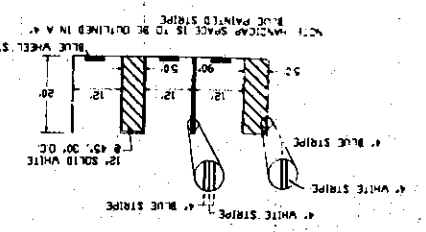
**HANDICAP PARKING SIGN**  
N.T.S.



**HANDICAP SYMBOL DETAIL**  
N.T.S.



**TYPICAL DISABLED PARKING SECTION**  
N.T.S.



- NOTES:
- ALL LETTERS ARE IN STAKES UNLESS NOTED.
  - TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED (ENGINEERING GRADE) BLUE AND BORDER.
  - BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK CHARACTERS AND BORDER.
  - AN 18" SIGN IS REQUIRED FOR EACH PARKING SPACE.
  - HEIGHT OF SIGN SHALL BE 6" FROM FINISHED GROUND TO BOTTOM OF SIGN.
  - HEIGHT OF SIGN SHALL BE 6" FROM FINISHED GROUND TO BOTTOM OF SIGN.

CONTRACTOR SHALL COORDINATE SIGN INSTALLATION PERMITS TO FINES PER LOCAL JURISDICTION.

But Original

PROJECT UPDATE 1/14/04

ENGINEER'S PROJECT NO. 04001 (POMA)  
KENNETH H. EHLERS, P.E. 10243

1/21/04  
K.H. Ehlers

ALTAMONTE SURVEYING AND PLATTING, INC.  
445 DOUGLASS AVENUE, SUITE 1505  
ALTAMONTE SPRINGS, FLORIDA 32714  
ATTN: MR. MICHAEL SOLITRO, PSM  
(407) 882-7555; FAX (407) 882-8228

**SURVEYOR**

MR. ROSARIO POMA  
6795 W. HIGHWAY 192  
KISSIMMEE, FLORIDA 34748  
(407) 238-1134; FAX (407) 398-8210

**OWNER**

MR. KENNETH H. EHLERS, P.E.  
6034 FALCONBRIDGE PLACE  
MOUNT DORA, FLORIDA 32787  
(352) 383-0780; FAX (352) 383-8888

**ENGINEER**

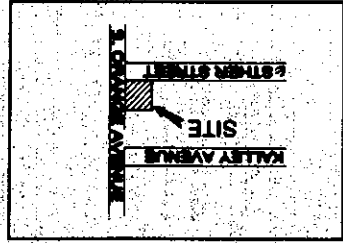
IMPULSE NIGHT CLUB  
1912 S. ORANGE AVENUE  
ORLANDO, FLORIDA 32801  
JANUARY, 2004

- INDEX OF DRAWINGS:**
- 1. BOUNDARY AND TOPOGRAPHIC SURVEY PLAN
  - 2. DEMOLITION AND EROSION CONTROL PLANS
  - 3. SITE GEOMETRIC PLAN
  - 4. GENERAL SITE DETAILS

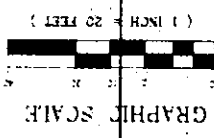
Telephone  
P.O. Box 1530000, MC 4030  
250 East Alhambra Springs  
Altamonte Springs, Florida 32715-3000  
Attn: James B. Cooper  
(407) 830-3207  
Electric  
Orange Utilities Commission  
3800 Gordon Avenue  
Orlando, Florida 32802  
Attn: Rebecca B. Cooper  
(407) 848-4478; Ext (407) 848-4420  
Gas  
Orange Gas  
603 East Alhambra Street  
Orlando, Florida 32802  
Attn: Rebecca B. Cooper  
(407) 848-4478; Ext (407) 848-4420  
Code  
Town Manager of Central Florida  
3787 Ar American Boulevard  
Orlando, Florida 32810  
Attn: Mervyn Wiley  
Sanitary Sewer Collection  
City of Orange Utility Department  
400 South Orange Avenue  
Orlando, Florida 32801  
Attn: Jane M. Sandy  
(407) 248-3243; Ext (407) 248-2882  
Potable Water Distribution  
Orange Utilities Commission (OUC)  
3800 Gordon Avenue  
Orlando, Florida 32802  
Attn: Rebecca B. Cooper  
(407) 848-4478; Ext (407) 848-4420  
Utility Locations  
Prior to excavation, call "Digging"  
One San Utility location system: (800) 423-4770

**CONTACT LIST:**

**LOCATION MAP**

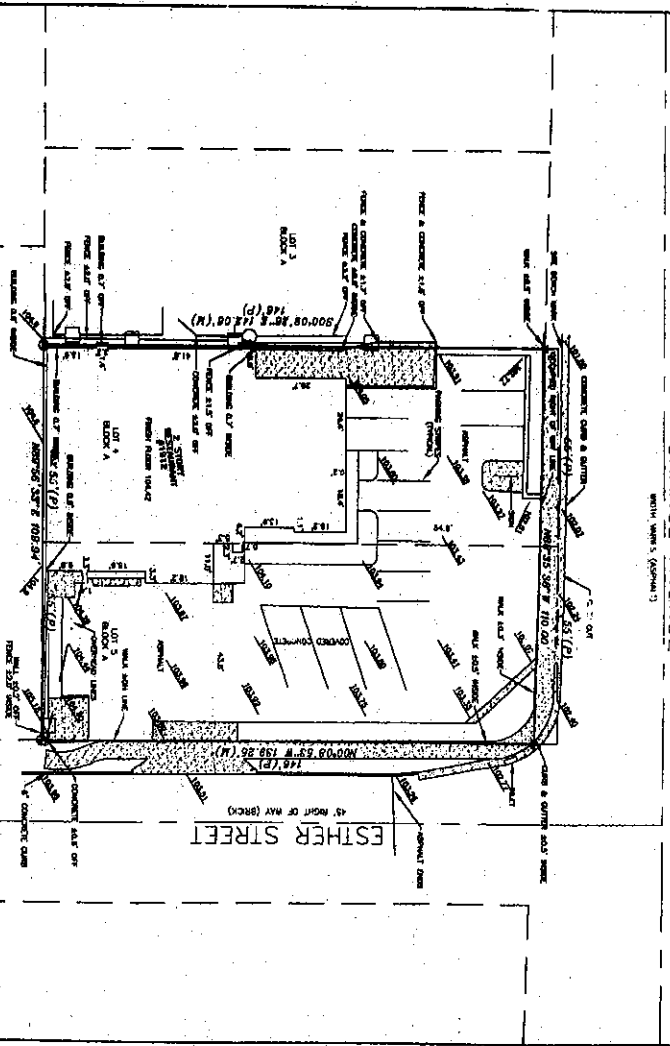


PLD2003-08240



DOUGLASS POMA  
LOTS 4 AND 5, BLOCK A, (LESS ROAD),  
JULIENHIST SUBDIVISION,  
PLAT BOOK C, PAGE 67,  
ORANGE COUNTY, FLORIDA

ORANGE AVENUE  
(PART OF MAP 1)



THIS SHEET HAS BEEN PROVIDED FOR INFORMATIONAL PURPOSES ONLY.

THE SURVEY COMES TO THE SURVEYOR'S ATTENTION AS A RESULT OF THE SURVEYOR'S OBLIGATION TO THE CLIENT AND NOT AS A RESULT OF THE SURVEYOR'S NEGLIGENCE OR CARELESSNESS.

ADJACENT SURVEYS  
ADJACENT SURVEYS ARE SHOWN ON THIS SHEET FOR INFORMATIONAL PURPOSES ONLY. THE SURVEYOR HAS NOT VERIFIED THE ACCURACY OF THESE SURVEYS.

THE SURVEYOR'S OBLIGATION IS LIMITED TO THE ACCURACY OF THE SURVEY DATA PROVIDED TO HIM BY THE CLIENT. THE SURVEYOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA PROVIDED BY THE CLIENT.

UNITED & ASSOCIATES/1/03	SCALE: 1"=40'	DATE: 11/11/01
FOR THE REAL ESTATE DEVELOPER, THE SURVEYOR HAS CONDUCTED A SURVEY OF THE PROPERTY DESCRIBED HEREIN. THE SURVEYOR HAS FOUND THAT THE PROPERTY IS SUBJECT TO THE FOLLOWING EASEMENTS AND ENCUMBRANCES:	<ul style="list-style-type: none"> <li>1. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> <li>2. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> <li>3. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> <li>4. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> <li>5. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> <li>6. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> <li>7. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> <li>8. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> <li>9. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> <li>10. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> </ul>	<ul style="list-style-type: none"> <li>1. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> <li>2. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> <li>3. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> <li>4. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> <li>5. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> <li>6. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> <li>7. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> <li>8. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> <li>9. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> <li>10. EASEMENT FOR CONCRETE DRIVE AND DRIVEWAY</li> </ul>

KEN EHLERS, P.E.  
CONSULTING ENGINEER  
6034 FALCONBRIDGE PLACE  
MOUNT DORA, FLORIDA 32757  
TEL: 1-352-383-0780  
FAX: 1-352-383-0650

PROJECT NO. 070003	DRAWING NO. 1	IMPULSE NIGHT CLUB	BOUNDARY AND TOPOGRAPHIC SURVEY PLAN	KEN EHLERS, P.E. CONSULTING ENGINEER 6034 FALCONBRIDGE PLACE MOUNT DORA, FLORIDA 32757 TEL: 1-352-383-0780 FAX: 1-352-383-0650	DATE
--------------------	---------------	--------------------	--------------------------------------	---	------

Bad original



Site Engineer

1/21/04  
Ken Ehlers  
KENNETH H. EHLERS, P.E. FL. # 118243

JOB NO. 02003  
DRAWING NO. 3

IMPULSE NIGHT CLUB  
COMMERCIAL PLANNING

SITE GEOMETRY PLAN

KEN EHLERS, P.E.  
CONSULTING ENGINEER  
5034 FALCONBRIDGE PLACE  
MOUNT DORA, FLORIDA 32757  
TEL 1 - 352-361-0780  
FAX 1 - 352-363-8650

NO.	DATE
1	
2	
3	
4	
5	
6	
7	

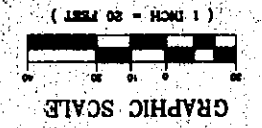
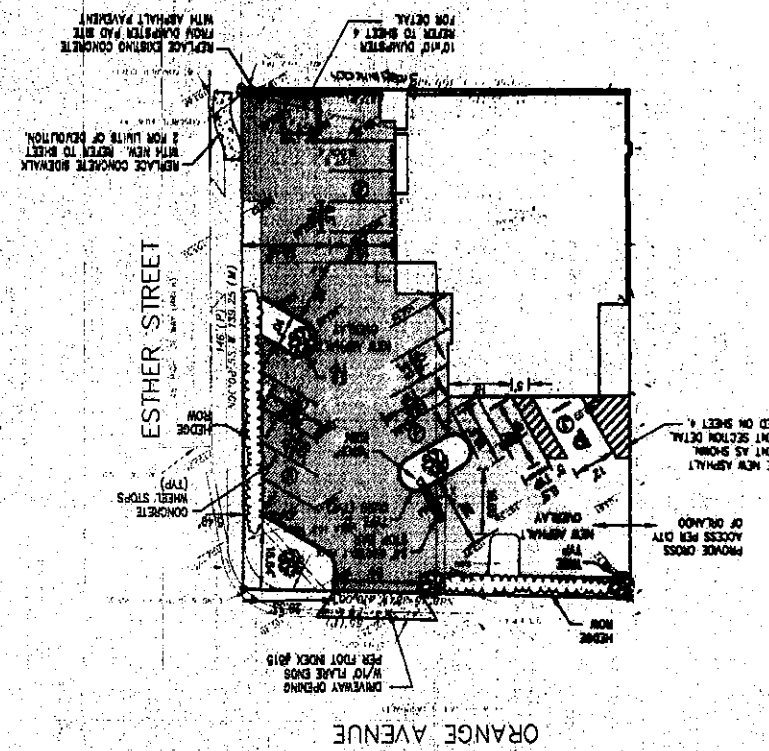
- LANDSCAPE LEGEND:
- ① SIX (6) LAUREL OAKS (10' TALL, 1 1/2" DIAMETER AT DBH).
  - ② LAUREL OAK (LAURILFOVA)
  - ③ SHEET VEGETATION (VEGETATION DOORATSHIKU)

- LANDSCAPING REQUIREMENTS:
1. ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 GRADE OR BETTER.
  2. THE ARCHITECT OR ENGINEER WILL TAG ALL MATERIAL IF REQUESTED BY THE OWNER.
  3. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A MINIMUM OF NINETY (90) DAYS.
  4. ALL SODDED AREAS MARKED ON THE PLANS SHALL BE ROLLED TO INSURE AN EVEN LOOK.
  5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISHED GRADING AND ANY SHAPING OR PRUNING OF MATERIALS SPECIFIED ON THE PLANS.
  6. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN FIELD CONDITIONS.
  7. ALL PLANT MATERIALS SHALL SURVIVE ALL CLIMATE CONDITIONS OF THE AREA.
  8. IF ANY EXISTING TREES OR PLANTS SHOWN ARE REMOVED OR KILLED THESE SHALL BE REPLACED BY NEW TREES OR PLANTS OF EQUAL GRADE.
  9. BID SHALL BE ON A UNIT BASIS AND SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO INSTALLATION.
  10. PROVIDE AUTOMATIC IRRIGATION SYSTEM AS/MODERN IRRIGATION SYSTEM, INC. ON APPROVED EQUAL. USE EXISTING WATER METERS WITH APPROVED BACKFLOW VALVE PER 100' RADIUS. RC-7A CONTROLLER AND RAINBOW VALVES AND HEADS AS REQUIRED TO COVER 100 PERCENT OF ALL PROPOSED LANDSCAPE AREAS ON THE PROPERTY.

- LANDSCAPE NOTES:
1. ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 GRADE OR BETTER.
  2. THE ARCHITECT OR ENGINEER WILL TAG ALL MATERIAL IF REQUESTED BY THE OWNER.
  3. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A MINIMUM OF NINETY (90) DAYS.
  4. ALL SODDED AREAS MARKED ON THE PLANS SHALL BE ROLLED TO INSURE AN EVEN LOOK.
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NOTE: ALL STRIPING SHALL BE THERMO-PLASTIC PAINT.

SITE DATA:  
ZONING: COMMERCIAL  
PARKING PROVIDED:  
14 SPACES @ 8.0'x18.0'  
1 SPACES @ 8.0'x20'  
1 SPACE @ 12'x20' (HANDICAP)  
19 SPACES TOTAL

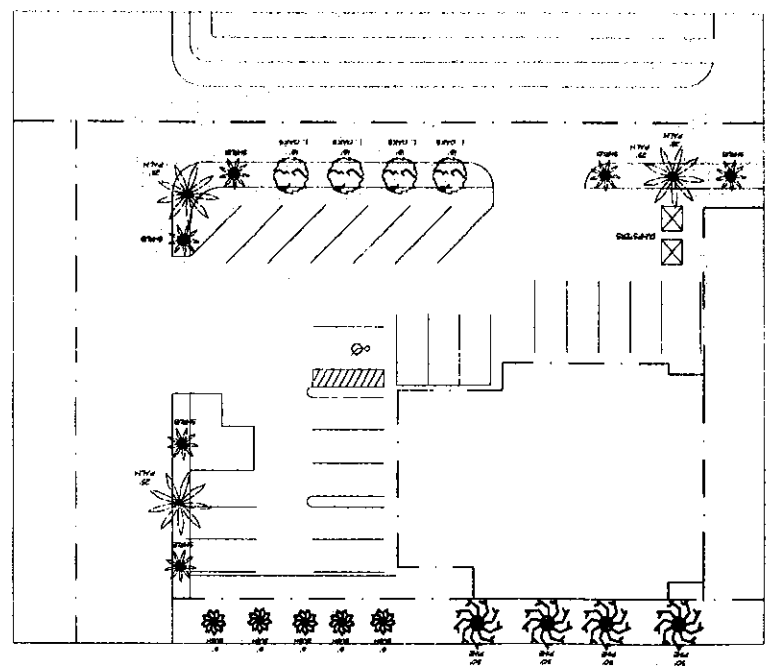




Bob Dringer

SCALE 1"=20'

# EXISTING SITE PLAN



THESE PLANS SHALL BE SUBJECT TO THE SCALE DRAWINGS, CONDITIONS, SHALL BE RESPONSIBLE FOR THE JOB AND A.B. & ASSOCIATES MUST BE NOTIFIED IN WRITING OF ANY VARIATION FROM THE  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE SCALE DRAWINGS, CONDITIONS, SHALL BE RESPONSIBLE FOR THE JOB AND A.B. & ASSOCIATES MUST BE NOTIFIED IN WRITING OF ANY VARIATION FROM THE  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE SCALE DRAWINGS, CONDITIONS, SHALL BE RESPONSIBLE FOR THE JOB AND A.B. & ASSOCIATES MUST BE NOTIFIED IN WRITING OF ANY VARIATION FROM THE

EQUIPMENT LIST

OP SHEETS

SHEET

12-0-03

DATE

JOH NUMBER

ARCHITECTS - DESIGNERS - DESIGNERS  
**AB & ASSOCIATES**  
 24223 - ARBROCK LANE  
 SCORREN, FLORIDA 32716  
 (904) 383-2638

ANDY DEBILICA  
 Commercial design specialist

IMPULSE

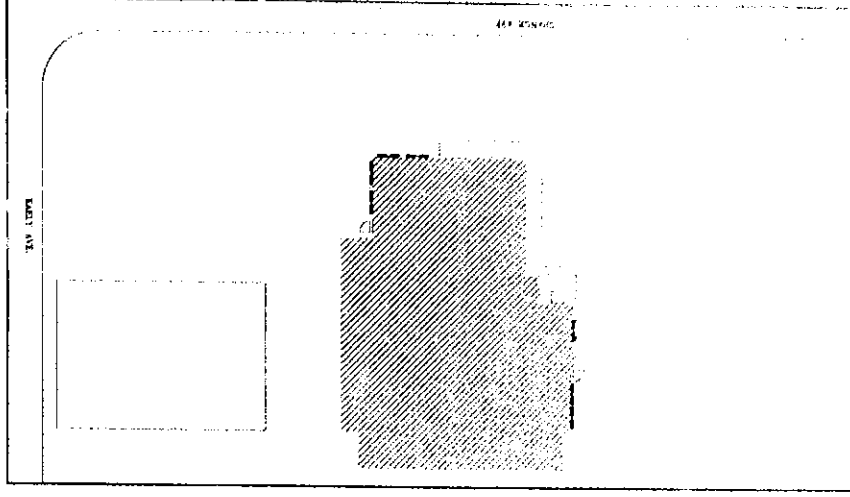


A.B. & ASSOCIATES, HEREBY RESERVES ITS COMMON LAW AND OTHER COPYRIGHTS IN THESE PLANS, IDEAS, AND DESIGNS. THESE IDEAS, DESIGNS, AND PLANS ARE NOT TO BE COPIED OR CHANGED IN ANY MANNER OR FORM WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESS WRITTEN PERMISSION FROM A.B. & ASSOCIATES.

Bad original



KEY PLAN



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	11/15/00
2	ISSUED FOR PERMIT	11/15/00
3	ISSUED FOR PERMIT	11/15/00
4	ISSUED FOR PERMIT	11/15/00
5	ISSUED FOR PERMIT	11/15/00
6	ISSUED FOR PERMIT	11/15/00
7	ISSUED FOR PERMIT	11/15/00
8	ISSUED FOR PERMIT	11/15/00
9	ISSUED FOR PERMIT	11/15/00
10	ISSUED FOR PERMIT	11/15/00

PROJECT SPECIFICATION PLAN

APPROVED: [Signature]

DATE: 11/15/00

PROJECT: PULSE ORLANDO

ADDRESS: 1115 ORANGE AVENUE

NOTE: OCCUPANCY LOAD SIGN MUST BE POSTED IN ROOMS OF ASSEMBLY PER NFPA 101B 12.2.3.3

ROOM FINISH SCHEDULE

NO.	DESCRIPTION
1	PLASTER
2	PLASTER
3	PLASTER
4	PLASTER
5	PLASTER
6	PLASTER
7	PLASTER
8	PLASTER
9	PLASTER
10	PLASTER

NOTE: OCCUPANCY LOAD SIGN MUST BE POSTED IN ROOMS OF ASSEMBLY PER NFPA 101B 12.2.3.3

HVAC NOTICE

THIS SPACE HAS AN EXISTING HVAC SYSTEM WITH A 16 TON (392,000 BTU) CAPACITY. AN ADDITIONAL 4 TON SYSTEM HAS BEEN ADDED. TOTAL SYSTEM = 20,000 RTU.

SHEET INDEX

NO.	DESCRIPTION
A-0	GENERAL PROJECT INFORMATION
A-1	EXISTING FLOOR PLAN
A-2	REVISED FLOOR PLAN
A-3	FLOORING COMPONENT PLAN
A-4	WALL SECTIONS, ELEVATIONS, DETAILS
E-1	EQUIPMENT SCHEDULES, PROJECT NOTES
E-2	LIGHTING AND FIXTURE SPECIFICATIONS
E-3	POWER PLAN
E-4	PANEL AND FEEDER SCHEDULES w/ ELECTRIC RISERS
M-1	HVAC FLOOR PLAN
M-2	MECHANICAL DETAILS AND EQUIPMENT SCHEDULES
M-3	PLUMBING FLOOR PLAN, SANITARY WASTE / VENT
M-4	PLUMBING FLOOR PLAN DOMESTIC WATER / GAS
P-1	PLUMBING DETAILS & SCHEMATICS

- PROJECT DATA
- SCOPE OF WORK
- 1) RENTROCK SHALL COMPLY WITH THE LATEST VISUAL QUALITY REQUIREMENTS
  - 2) THIS BUILDING SHALL COMPLY WITH ALL APPLICABLE BUILDING, FIRE, HEALTH AND SAFETY CODES.
  - 3) ELECTRICAL SERVICE IS AN EXISTING 1200V 3PH 4W 400A SERVICE.
  - 4) ALL MATERIALS USED SHALL BE CLASSIFIED AS GREEN.
  - 5) THIS SPACE HAS A TOTAL RATING OF 16,000 BTU.
  - 6) ALL WORK TO CONFORM WITH REQUIREMENTS OF ALL LOCAL, STATE AND FEDERAL CODES.
  - 7) ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
  - 8) CEILING TO AN EXISTING 16'x16' GRID.
  - 9) REAR EXISTING DOORS SHALL BE EQUIPPED WITH HARDWARE TO MEET REQUIREMENTS OF ALL APPLICABLE BUILDING AND SAFETY CODES.
  - 10) EXTERIOR JOISTS SHALL BE REINFORCED.
  - 11) EXTERIOR JOIST SHALL BE REINFORCED.

PULSE ORLANDO  
1115 ORANGE AVENUE

AB & ASSOCIATES  
2405 HARBECKLANE  
SARASOTA, FLORIDA 34236

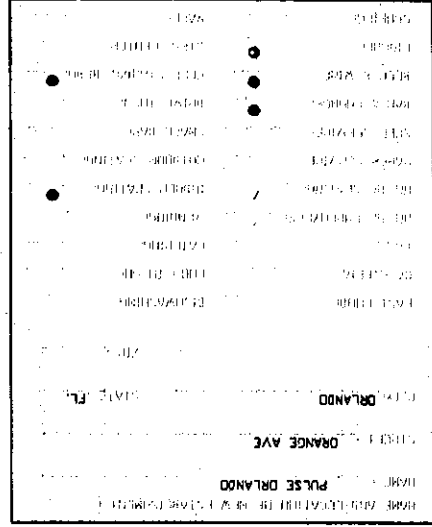
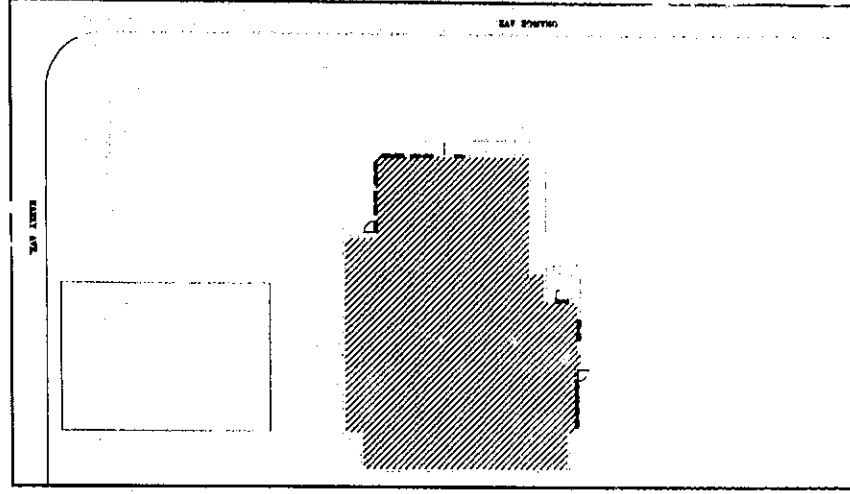
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Bad original



KEY PLAN



NOTE: OCCUPANCY LOAD SIGN MUST BE POSTED IN ROOMS OF ASSEMBLY PER NFPA 101: 12.8.3  
MAXIMUM LOAD IS 223 PERSONS

HVAC NOTICE  
THIS SPACE HAS AN EXISTING HVAC SYSTEM WITH A 16 TON (392,000 BTU CAPACITY) BEEN ADDED. TYPICAL SYSTEM = 240,000 BTU

SHEET	DESCRIPTION
A-0	GENERAL PROJECT INFORMATION
A-1	EXISTING FLOOR PLAN
A-2	REVISED FLOOR PLAN
A-3	FLOORING COMPONENT PLAN
A-4	WALL SECTIONS, ELEVATIONS, DETAILS
E-1	EQUIPMENT SCHEDULE / PROJECT NOTES
E-2	LIGHTING AND FIXTURE SPECIFICATIONS
E-3	POWER PLAN
E-4	PANEL AND FEEDER SCHEDULES w/ ELECTRIC RISER
M-1	HVAC FLOOR PLAN
M-2	MECHANICAL DETAILS, AND EQUIPMENT SCHEDULES
P-1	PLUMBING FLOOR PLAN SANITARY WASTE / VENT
P-2	PLUMBING FLOOR PLAN DOMESTIC WATER / GAS
P-3	PLUMBING DETAILS & SCHEMATICS

ROOM NO.	FINISH	DESCRIPTION
101	CEILING	...
102	WALL	...
103	FLOOR	...
104	DOOR	...
105	WINDOW	...
106	...	...
107	...	...
108	...	...
109	...	...
110	...	...

PROJECT DATA

- SCOPE OF WORK**
- BATHROOMS SHALL COMPLY WITH THE LAST REVISIONS
  - THIS TENANT BUILDOUT SHALL COMPLY WITH ALL APPLICABLE BUILDING, ENERGY, FIRE, HEALTH AND SAFETY CODES
  - ELECTRICAL SERVICE IS AN EXISTING 120V/208 3PH 4W0 AMP. FIELD VERIFY LOCATION, SIZE AND COMPLIANCE
  - ALL MATERIALS USED SHALL BE CLASS 'B' OR BETTER
  - THIS SPACE HAS A TOTAL 29 TONS OF HVAC (8000) CFM
  - ALL WORK TO CONFORM WITH REQUIREMENTS OF NATIONAL STATE AND LOCAL CODES.
  - ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
  - CEILING IS AN 8'x8' COMBO LAY-IN ACoustical TILE
  - REAR EXIT DOORS SHALL BE EQUIPPED WITH PANIC HARDWARE
  - THE MOST REVISIONS OF FLORIDA BUILDING CODES
  - EXTERIOR DOORS SHALL BE SELF-CLOSING
  - RESTROOM DOORS SHALL BE SELF-CLOSING.

**PULSE ORLANDO**  
5125 ORANGE AVENUE

**AB & ASSOCIATES**  
2405 HARBECK LANE  
SORENTO, FLORIDA 32776

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Bad Original

HVAC GENERAL NOTES

1. THE DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES AND SPECIFICATIONS. ALL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES AND SPECIFICATIONS.

Table with 4 columns: Item No., Description, Quantity, and Unit. Contains technical specifications for ductwork components.

2. ALL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES AND SPECIFICATIONS. ALL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES AND SPECIFICATIONS.

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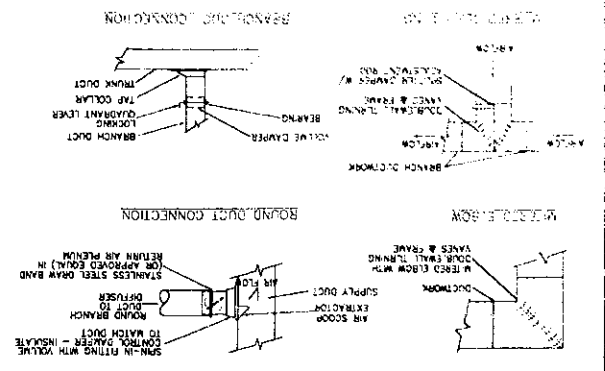
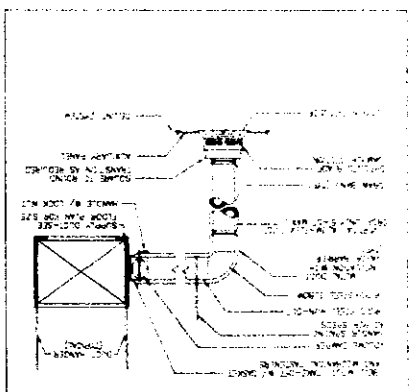
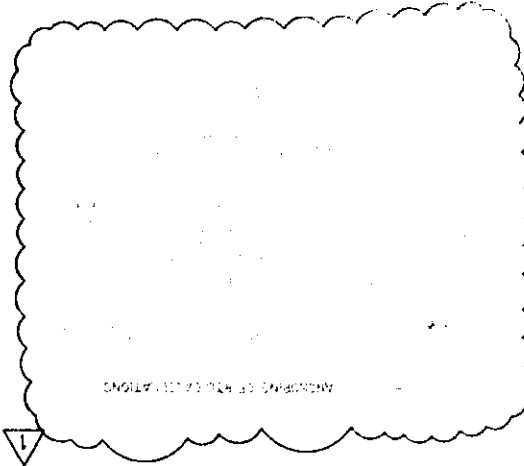
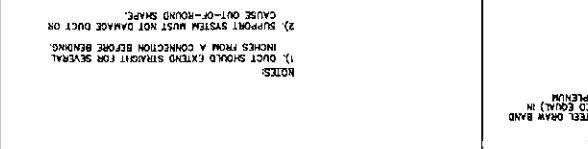
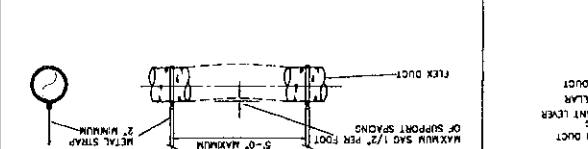
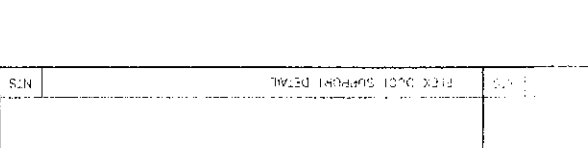
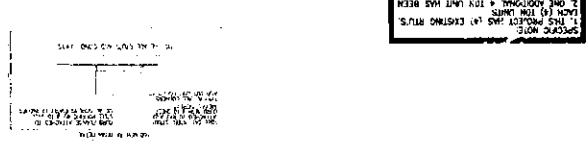
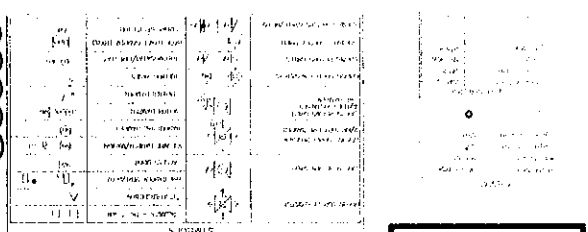
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HVAC GENERAL NOTES

8. ALL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES AND SPECIFICATIONS. ALL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES AND SPECIFICATIONS.

Table with 4 columns: Item No., Description, Quantity, and Unit. Contains technical specifications for ductwork components.



MISS ORLANDO  
1111 SOUTH AVENUE

AB & ASSOCIATES  
2115 HAZENSLANE  
SARASOTA, FLORIDA 34276

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HVAC DETAILS/NOTES PLAN

PULSE ORLANDO  
1912 S. ORANGE AVENUE

AB & ASSOCIATES  
2403 HARBECK LANE  
SORRENTO, FLORIDA 32776

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10/2001

HVAC GENERAL NOTES

1. SEE LOCATION, HEIGHT, ETC. FROM ARCHITECTURE AND SERVICE CLEARANCES.
2. EQUIPMENT SHALL BE LOCATED TO ALLOW EASY ACCESS FOR SERVICE, MAINTENANCE AND SPACE FOR REMOVAL OF INTERNAL ASSEMBLIES. PROVIDE RECOMMENDATIONS FOR SERVICE CLEARANCES FOR EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS.
3. WHERE CONDITIONS EXIST ON WORK THERE IS A DANGER OF CONTACT WITH LIVE ELECTRICAL WIRING. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND MARKING ALL ELECTRICAL WIRING AND EQUIPMENT TO BE MAINTAINED. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND MARKING ALL ELECTRICAL WIRING AND EQUIPMENT TO BE MAINTAINED.
4. MECHANICAL CONTRACTOR SHALL COORDINATE ALL LOCATIONS WITH ELECTRICAL CONTRACTOR. PROVIDE 12" CLEARANCE BETWEEN THE TRUNKS. SHALL BE MARKED AT THE ARCHITECT BEFORE INSTALLATION OF THE WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES AND AUTHORITIES HAVING JURISDICTION OVER THE WORK.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES AND AUTHORITIES HAVING JURISDICTION OVER THE WORK.
7. DETAILS SHOWN ARE GENERAL - NOT ACTUAL SECTIONS.
8. OUTSIDE AIR INTAKE SHALL BE A MINIMUM OF 12" ABOVE THE ROOF AND A MINIMUM OF 3' FROM ANY EXHAUST OR PLUMBING VENT.
9. ALL OUTSIDE AIR DISCHARGE SHALL BE SHEET METAL.
10. ALL FLEXIBLE DUCTWORK SHALL BE INSULATED, LOW PERMEABLE TYPE WITH A MINIMUM OF 1" INSULATION.
11. FLEXIBLE DUCTWORK SHALL BE INSTALLED WITH A MINIMUM OF 1" INSULATION. FLEXIBLE DUCTWORK SHALL BE INSTALLED WITH A MINIMUM OF 1" INSULATION. FLEXIBLE DUCTWORK SHALL BE INSTALLED WITH A MINIMUM OF 1" INSULATION.
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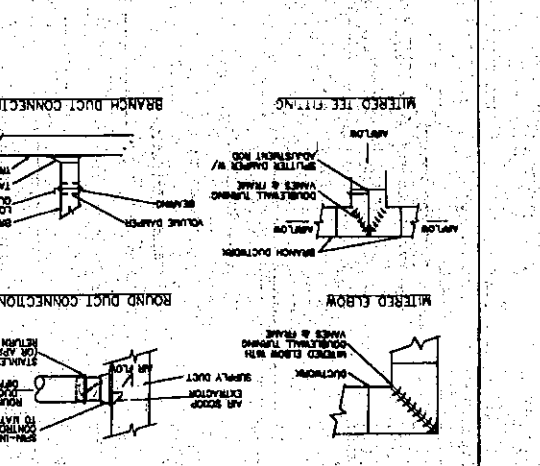
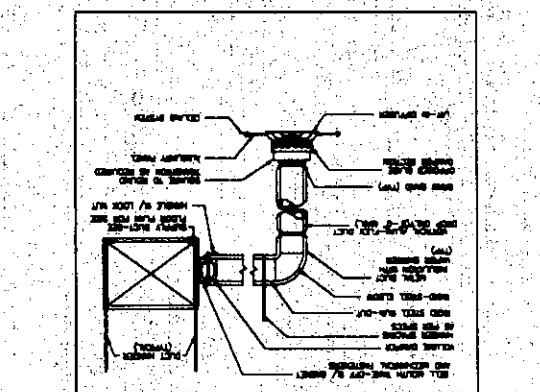
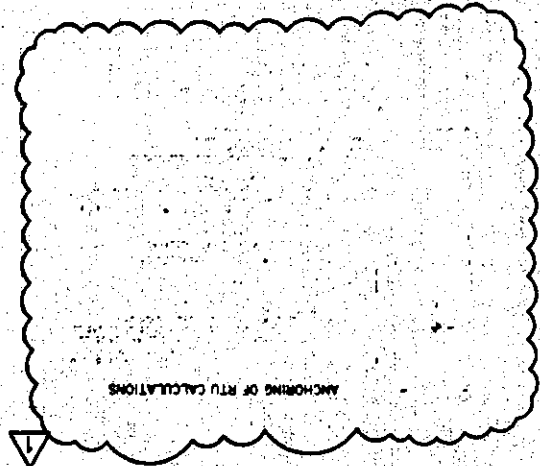
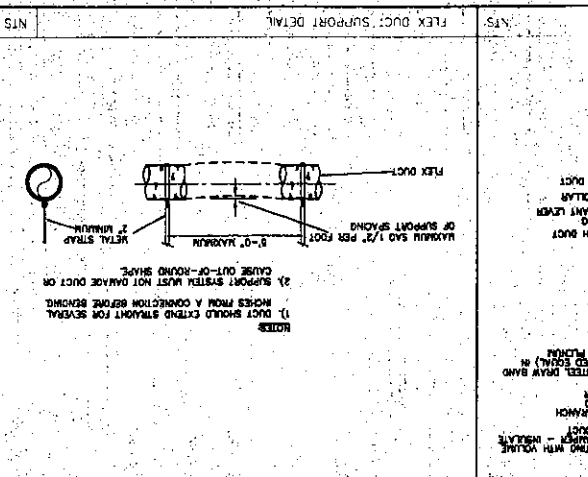
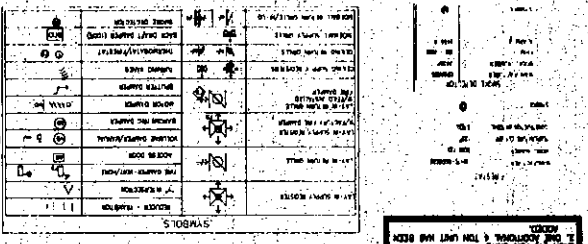
DUCT FLEXIBLE AIR FLOW NOTES

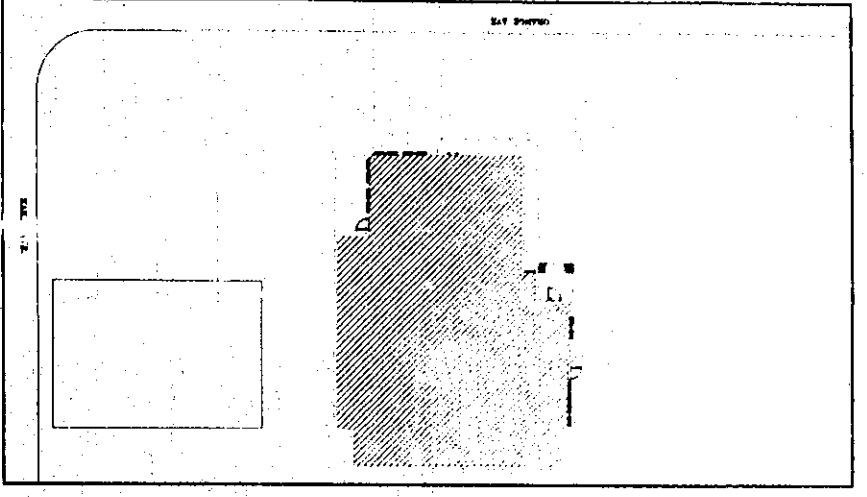
SIZE	LENGTH	AREA	VOLUME	WEIGHT
12"	10'	1.10	11.00	1.10
14"	10'	1.54	15.40	1.54
16"	10'	2.01	20.10	2.01
18"	10'	2.54	25.40	2.54
20"	10'	3.14	31.40	3.14
24"	10'	4.71	47.10	4.71
30"	10'	7.07	70.70	7.07
36"	10'	10.18	101.80	10.18
42"	10'	14.14	141.40	14.14
48"	10'	18.81	188.10	18.81
54"	10'	24.16	241.60	24.16
60"	10'	30.21	302.10	30.21
66"	10'	36.96	369.60	36.96
72"	10'	44.41	444.10	44.41
78"	10'	52.56	525.60	52.56
84"	10'	61.41	614.10	61.41
90"	10'	71.06	710.60	71.06
96"	10'	81.51	815.10	81.51
102"	10'	92.76	927.60	92.76
108"	10'	104.81	1048.10	104.81
114"	10'	117.66	1176.60	117.66
120"	10'	131.41	1314.10	131.41

NOTE: SHARED AREA HAS EXISTING LINE SYSTEM. FRONT SECTION WILL BE UTILIZED (2) EXISTING. SALVAGED IS POSSIBLE OR REPAIRED AS REQUIRED. DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:

OUTSIDE AIR CALCULATIONS ARE BASED ON ASHRAE 62-1989 SUBSECTION 6.1.3, TABLE 2.1 COMMERCIAL FACILITIES

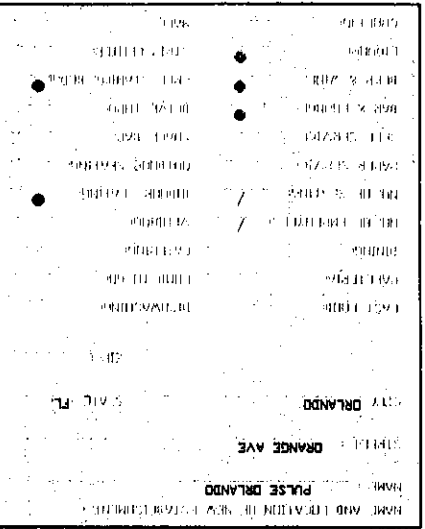
INDUCED OUTSIDE AIR (CFM)	EXHAUST AIR (CFM)	NET FLOW (CFM)
1000 CFM	120 CFM	880 CFM
240 CFM	260 CFM	20 CFM





ROOM FINISH SCHEDULE	FINISH	WALL	FLOOR	CEILING
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	9			
	10			

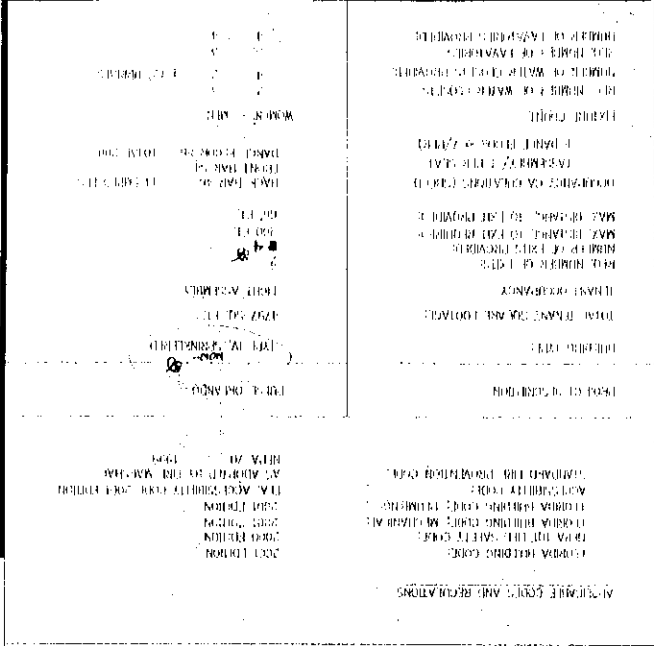
ROOM FINISH SCHEDULE



HVAC NOTICE  
THIS SPACE HAS AN EXISTING HVAC SYSTEM WITH A 16 TON (192,000) BTU CAPACITY. AN ADDITIONAL 4 TON SYSTEM HAS BEEN ADDED. TOTAL SYSTEM = 240,000 BTU.

SHEET	DESCRIPTION
A-0	GENERAL PROJECT INFORMATION
A-1	EXISTING FLOOR PLAN
A-2	REVISED FLOOR PLAN
A-3	FLOORING CONTRACT PLAN
A-4	WALL SECTIONS, ELEVATIONS, DETAILS
E-1	EQUIPMENT SCHEDULE / PROJECT NOTES
E-2	LIGHTING AND FIXTURE SPECIFICATIONS
E-3	POWER PLAN
E-4	PANEL AND FEEDER SCHEDULES W/ ELECTRIC RISERS
M-1	HVAC FLOOR PLAN
M-2	MECHANICAL DETAILS, AND EQUIPMENT SCHEDULES
F-1	PLUMBING FLOOR PLAN SANITARY WASTE / VENT
F-2	PLUMBING FLOOR PLAN DOMESTIC WATER / GAS
F-3	PLUMBING DETAILS & SCHEMATICS

PROJECT SPECIFICATION PLAN



SCOPE OF WORK INTERIOR ALTERATION

- 1) BATHROOMS SHALL COMPLY WITH THE LATEST REVISIONS TO THE BUILDING CODE REQUIREMENTS.
- 2) THIS TENNANT BUILDOUT SHALL COMPLY WITH ALL APPLICABLE BUILDING, ENERGY, FIRE, HEALTH AND SAFETY CODES.
- 3) ELECTRICAL SERVICE IS AN EXISTING 120/208 3PH 400 AMP. FIELD VERIFY LOCATION, SIZE AND COMPLIANCE.
- 4) ALL MATERIALS USED SHALL BE CLASS "B" OR BETTER.
- 5) THIS SPACE HAS A TOTAL 20 TONS OF HVAC (8,000) CFM.
- 6) ALL WORK TO CONFORM WITH REQUIREMENTS OF NATIONAL, STATE AND LOCAL CODES.
- 7) ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- 8) CEILING IS AN 2'X2' COMBO LAY-IN, ACOUSTICAL TILE.
- 9) REAR EXIT DOORS SHALL BE EQUIPPED WITH PANIC HARDWARE TO MEET PROVISIONS OF FLORIDA BUILDING CODES.
- 10) EXTERIOR DOORS SHALL BE SELF CLOSING.
- 11) RESTROOM DOORS SHALL BE SELF CLOSING.

PULSE ORLANDO  
9125 S. ORANGE AVENUE

AB & ASSOCIATES  
24405 HARBECK LANE  
SARASOTA, FLORIDA 34236

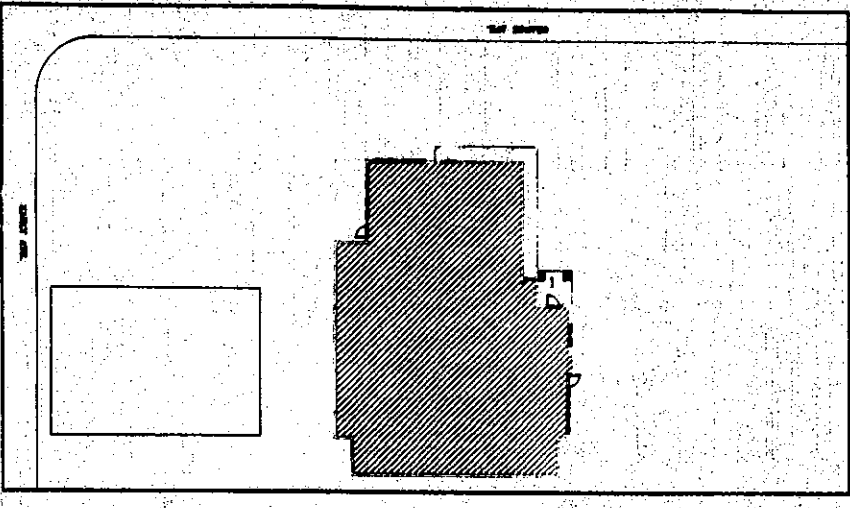
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Bad original

Bar design



KEY PLAN



ROOM FINISH SCHEDULE

ROOM NO.	CEILING	WALLS	BASE	FLOORS
101	POP	POP	POP	POP
102	POP	POP	POP	POP
103	POP	POP	POP	POP
104	POP	POP	POP	POP
105	POP	POP	POP	POP
106	POP	POP	POP	POP
107	POP	POP	POP	POP
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110	POP	POP	POP	POP
111	POP	POP	POP	POP
112	POP	POP	POP	POP
113	POP	POP	POP	POP
114	POP	POP	POP	POP
115	POP	POP	POP	POP
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222	POP	POP	POP	POP
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248	POP	POP	POP	POP
249	POP	POP	POP	POP
250	POP	POP	POP	POP

REMARKS

HVAC NOTICE  
 THIS SPACE HAS AN EXISTING HVAC SYSTEM WITH A 16 TON (192,000) BTU CAPACITY AND ADDITIONAL TON SYSTEM HAS BEEN ADDED. TOTAL SYSTEM = 240,000 BTU

SHEET INDEX

SHEET	DESCRIPTION
A-0	GENERAL PROJECT INFORMATION
A-1	EXISTING FLOOR PLAN
A-2	REVISED FLOOR PLAN
A-3	ROOMING COMPONENT PLAN
A-4	WALL SECTIONS, ELEVATIONS DETAILS
E-1	EQUIPMENT SCHEDULES / PROJECT NOTES
E-2	LIGHTING AND FIXTURE SPECIFICATIONS
E-3	POWER PLAN
E-4	PANEL AND FEEDER SCHEDULES W/ ELECTRIC RISER
M-1	HVAC FLOOR PLAN
M-2	MECHANICAL DETAILS, AND EQUIPMENT SCHEDULES
P-1	PLUMBING FLOOR PLAN SANITARY WASTE / VENT
P-2	PLUMBING FLOOR PLAN DOMESTIC WATER / GAS
P-3	PLUMBING DETAILS & SCHEMATICS

PROJECT SPECIFICATION PLAN

APPLICABLE CODES AND REGULATIONS	PROJECT DATA
FLORIDA BUILDING CODE 2000 EDITION NFPA 101 LIFE SAFETY CODE FLORIDA BUILDING CODE, MECHANICAL FLORIDA BUILDING CODE, PLUMBING FLORIDA BUILDING CODE 2001 EDITION FLA ACCESSIBILITY CODE 2001 EDITION AS ADOPTED BY FIRE MARSHAL NFPA 70 1999	PROJECT DESCRIPTION PULSE ORLANDO TYPE IV, SPRINKLERED TOTAL TENANT SQUARE FOOTAGE 4,997 SQ. FT. LIGHT ASSEMBLY NO. NUMBER OF EXITS 2 MAX. DISTANCE TO EXIT PROVIDED 200 FT. MAX. DISTANCE TO EXIT PROVIDED 66 FT. OCCUPANCY CALCULATION (SQUAD) (ASSEMBLY) 1 PER SEAT SNACK BAR PRIVATE DRINKING WATER TOILETS CLOTHING LOCKING HALLS

SCOPE OF WORK INTERIOR ALTERATION

- BATHROOMS SHALL COMPLY WITH THE LATEST REVISIONS TO THE BUILDING CODE REQUIREMENTS.
- THIS TENNANT BUILDOUT SHALL COMPLY WITH ALL APPLICABLE BUILDING, ENERGY, FIRE, HEALTH AND SAFETY CODES.
- ELECTRICAL SERVICE IS AN EXISTING 120/208 3PH 400 AMP FIELD VERIFY LOCATION, SIZE AND COMPLIANCE.
- ALL MATERIALS USED SHALL BE CLASS "B," OR BETTER.
- THIS SPACE HAS A TOTAL 20 TONS OF HVAC (8,000 CFM).
- ALL WORK TO CONFORM WITH REQUIREMENTS OF NATIONAL STATE AND LOCAL CODES.
- ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- CEILING IS AN 2'X2' COMBO LAY-IN ACOUSTICAL TILE.
- REAR EXIT DOORS SHALL BE EQUIPPED WITH PANIC HARDWARE TO MEET PROVISIONS OF FLORIDA BUILDING CODES.
- EXTERIOR DOORS SHALL BE SELF CLOSING.
- RESTROOM DOORS SHALL BE SELF CLOSING.

PROJECTED CONTENTS

1912 S. ORANGE AVENUE

PULSE ORLANDO

ARCHITECTS - ENGINEERS - DESIGNERS

AB & ASSOCIATES

2403 HARBECK LANE  
 SORRENTO, FLORIDA 32776  
 407 467 5463

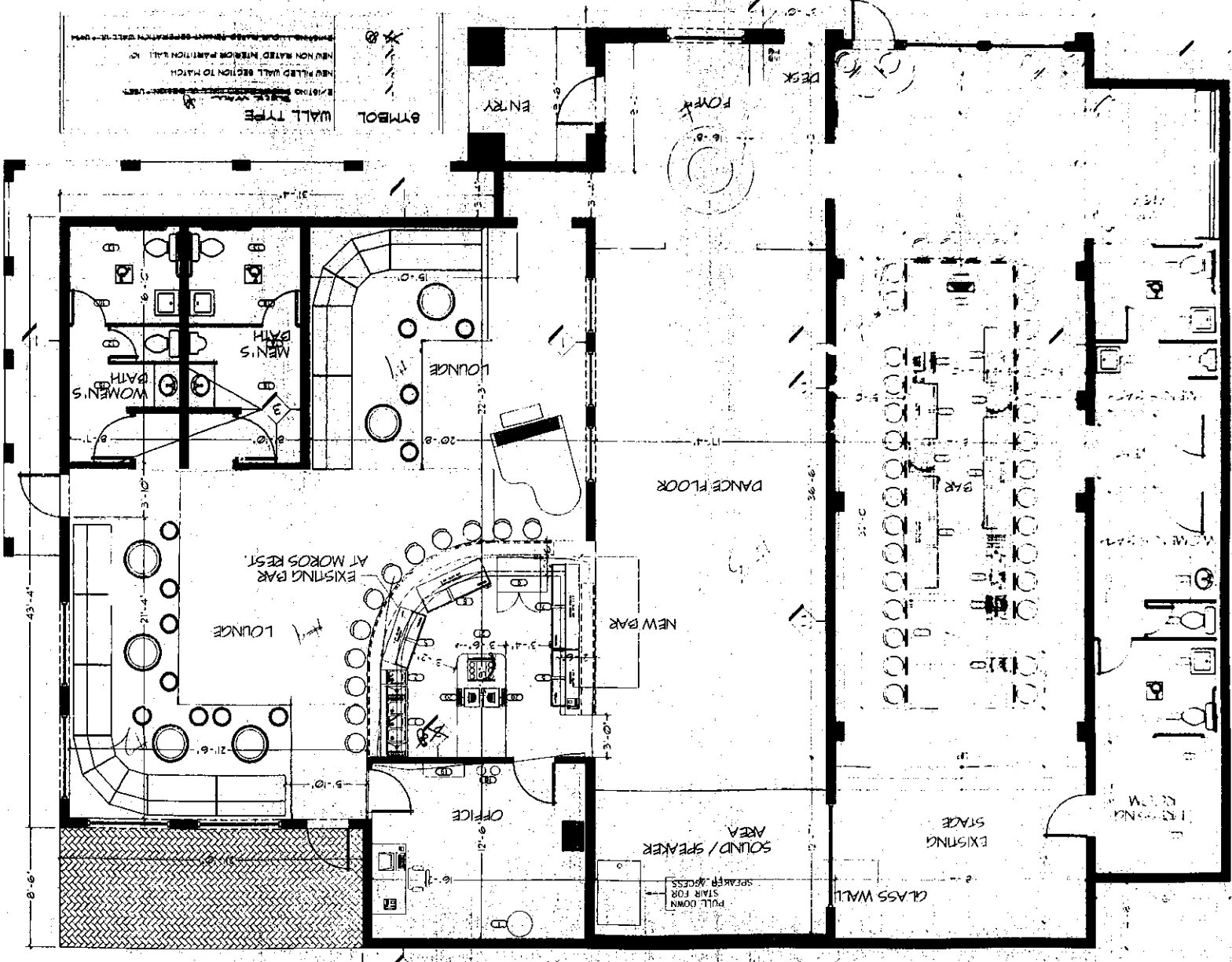
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DATE: 10/2001

Bar Design

ARCHITECTURAL FLOOR PLAN



EQUIPMENT LIST

1	1) 80 GALLON ELECTRIC WATER HEATER
2	2) UNDER COUNTER HAND SINK W/ FAUCET
3	3) 2" COMP. SINK W/ FAUCET
4	4) 1" UNDER COUNTER GLASS PROSTER
5	5) 1" 2" COMP. SINK W/ FAUCET
6	6) 1" 2" COMP. SINK W/ FAUCET
7	7) 1" 2" COMP. SINK W/ FAUCET
8	8) 1" 2" COMP. SINK W/ FAUCET
9	9) 1" 2" COMP. SINK W/ FAUCET
10	10) 1" 2" COMP. SINK W/ FAUCET
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12	12) 1" 2" COMP. SINK W/ FAUCET
13	13) 1" 2" COMP. SINK W/ FAUCET
14	14) 1" 2" COMP. SINK W/ FAUCET
15	15) 1" 2" COMP. SINK W/ FAUCET
16	16) 1" 2" COMP. SINK W/ FAUCET
17	17) 1" 2" COMP. SINK W/ FAUCET
18	18) 1" 2" COMP. SINK W/ FAUCET
19	19) 1" 2" COMP. SINK W/ FAUCET
20	20) 1" 2" COMP. SINK W/ FAUCET
21	21) 1" 2" COMP. SINK W/ FAUCET
22	22) 1" 2" COMP. SINK W/ FAUCET
23	23) 1" 2" COMP. SINK W/ FAUCET

PROJECT NO. 00000000  
**PUI SE ORLANDO**  
 1912 S. ORANGE AVENUE

DESIGNERS  
**AB & ASSOCIATES**  
 2403 HARBECK LANE  
 SORRENTO, FLORIDA 32776

DATE: 11/11/05

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Rev 1 Original

WALL SECTION / INTERIOR DETAILS  
SCALE: 3/16" = 1'-0"

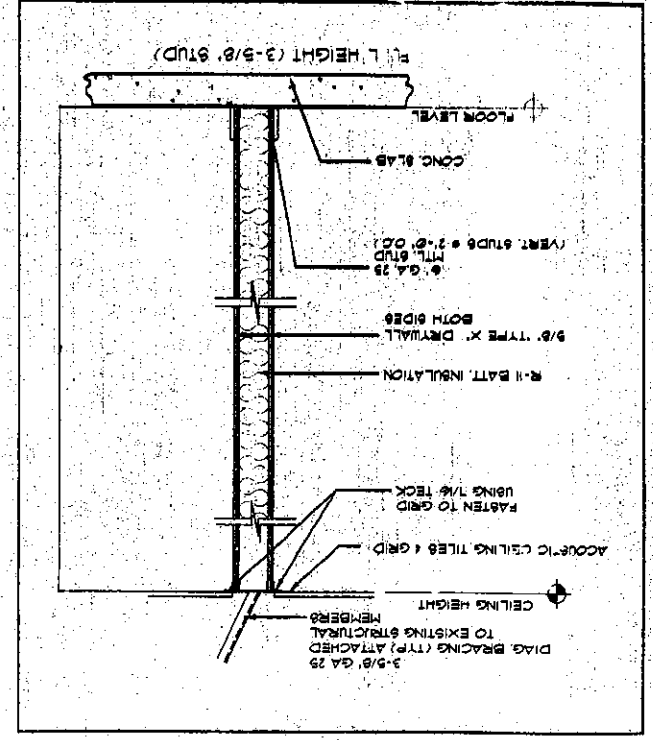
● BLS: JIN  
● ASSOCIATE

PROJECT: 1912 S. ORANGE AVENUE  
CLIENT: PULSE ORLANDO  
FLORIDA

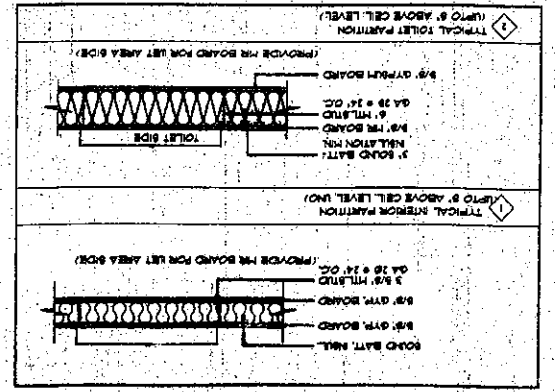
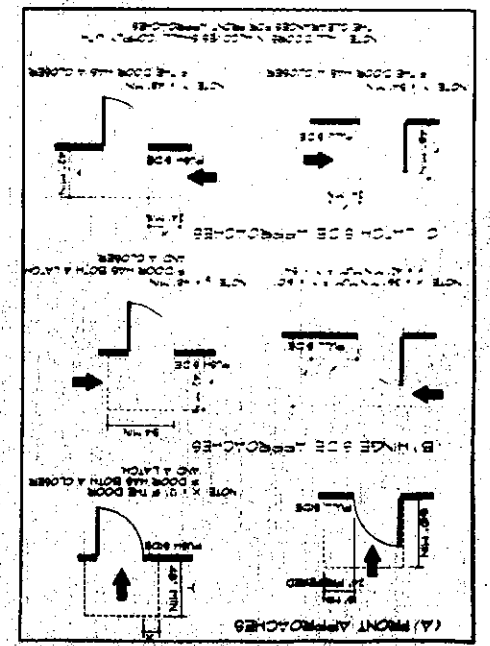
ARCHITECTS - ENGINEERS - DESIGNERS  
**AB & ASSOCIATES**  
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SORENTO, FLORIDA 32776  
(407) 467-5463  
AND: RESCUE  
Commercial Design Specialists

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DATE: 1/15/11



**DOOR NOTES**  
DOOR SCHEDULE SHALL BE COVERED WITHIN 36" AND 48" FROM FLOOR AND BE 1 1/2" MIN. CLEARANCE FROM WALLS.  
DOOR SHALL BE 36" MIN. CLEARANCE FROM WALLS AND 48" MIN. CLEARANCE FROM FLOOR.  
DOOR SHALL BE 36" MIN. CLEARANCE FROM WALLS AND 48" MIN. CLEARANCE FROM FLOOR.

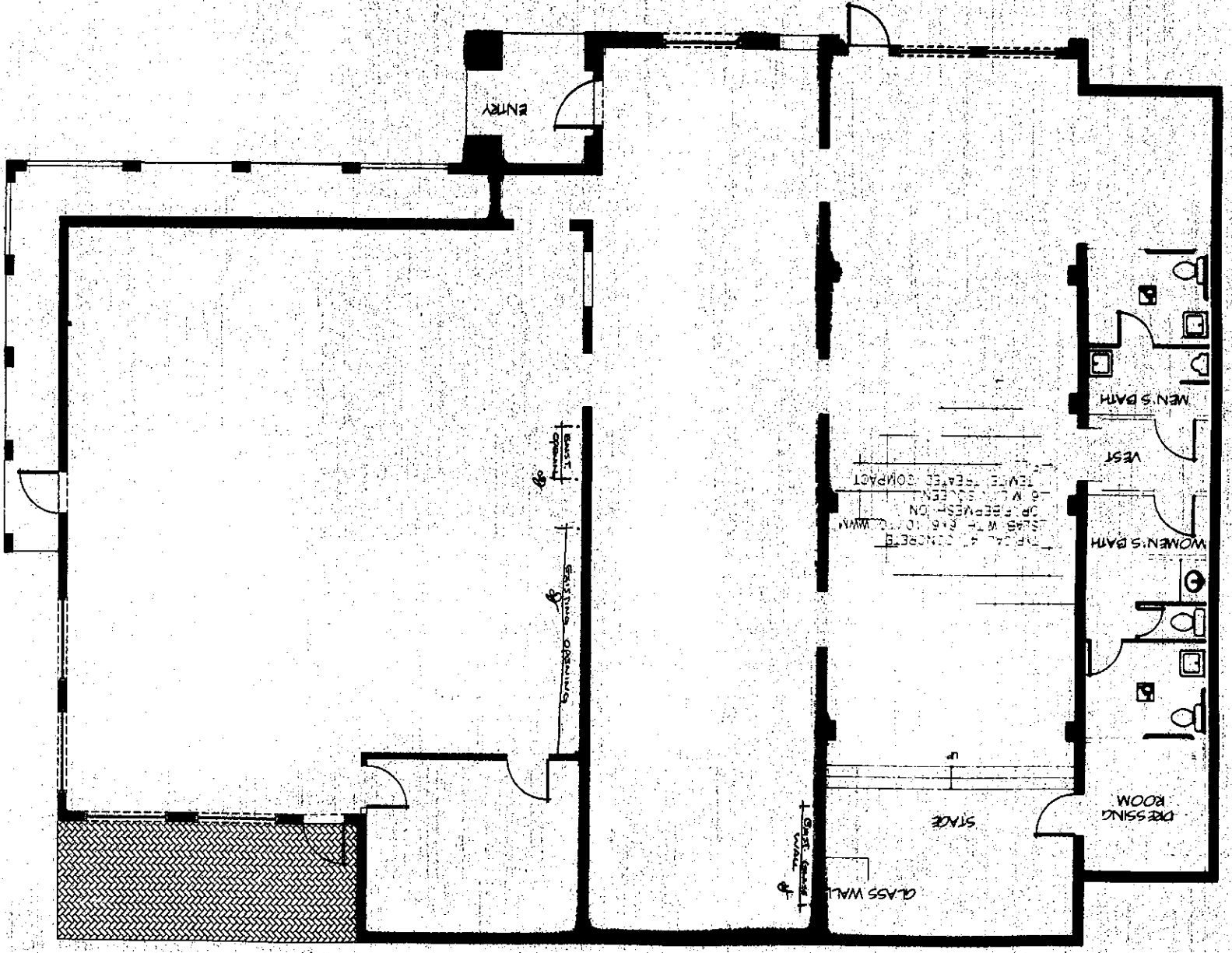




Bad original

Existing  
ARCHITECTURAL FLOOR PLAN  
1/4" = 1'-0"

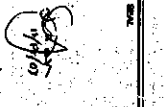
- LIT SIGNING
- CONTAINERS
- PLANTING



PROJECT NO. 00000000  
**PULSE ORLANDO**  
 1912 S. ORANGE AVE.  
 FLORIDA

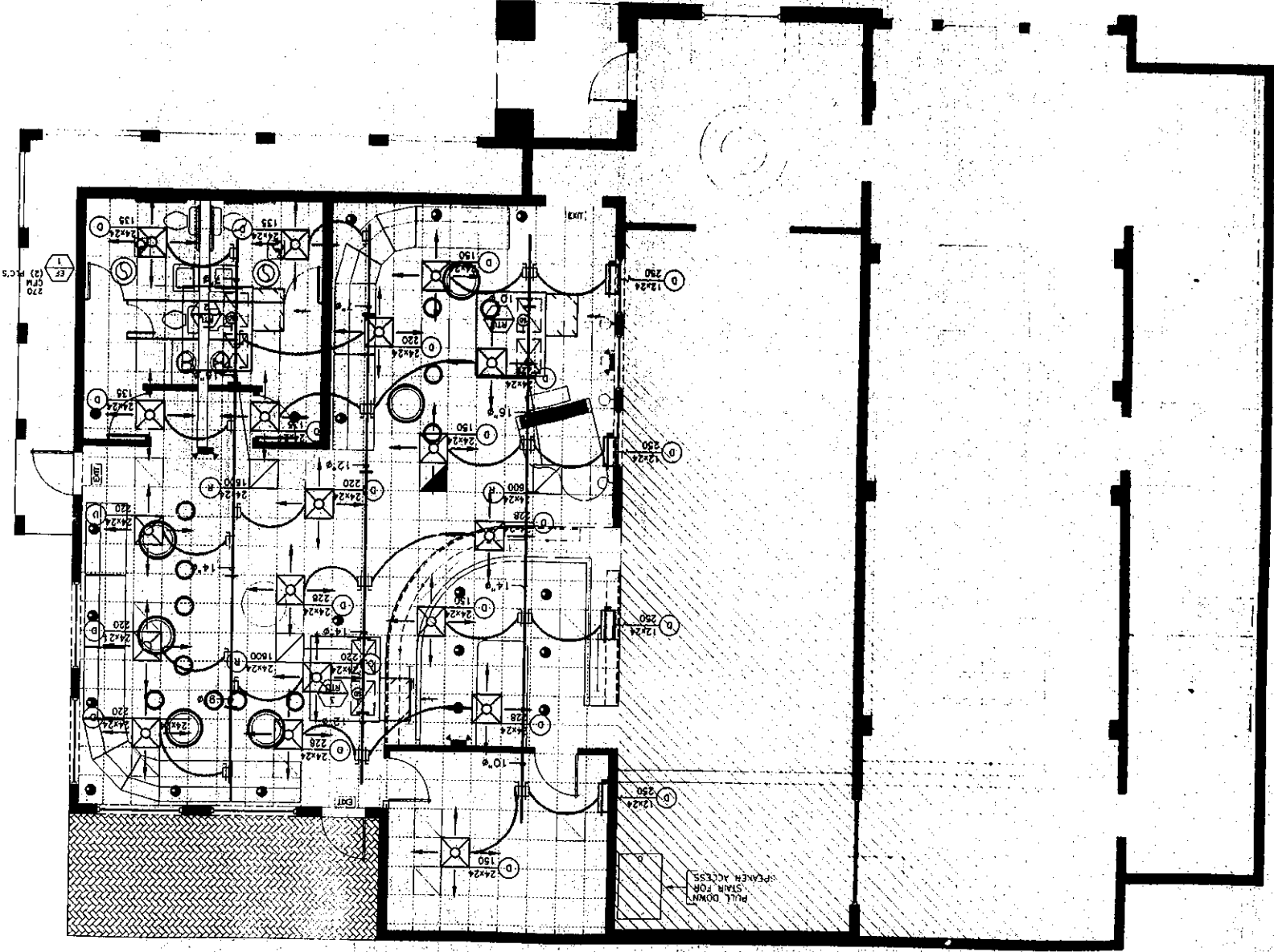
ARCHITECTS - ENGINEERS - DESIGNERS  
**AB & ASSOCIATES**  
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 SOMERBROOK, FLORIDA 32776  
 (407) 467 - 5463  
 ANDY BISCOLA  
 commercial design specialist

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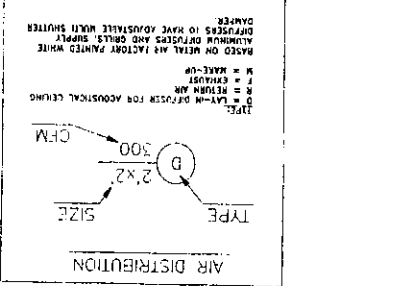
Bob Oringer

MECHANICAL PLAN



SYMBOLS

	DIFFUSER	REGISTER
	RETURN REGISTER	REGISTER
	SUPPLY REGISTER	REGISTER
	DAMPER	DAMPER
	VALVE	VALVE
	CONTROL VALVE	CONTROL VALVE
	AIR FILTER	AIR FILTER
	AIR HANDLER	AIR HANDLER
	EXHAUST FAN	EXHAUST FAN
	MAKE-UP AIR	MAKE-UP AIR
	RETURN AIR	RETURN AIR
	SUPPLY AIR	SUPPLY AIR
	CEILING LIGHT	CEILING LIGHT
	PANEL	PANEL
	PANEL WITH SHUTTERS	PANEL WITH SHUTTERS
	PANEL WITH SHUTTERS AND DIFFUSERS	PANEL WITH SHUTTERS AND DIFFUSERS
	PANEL WITH SHUTTERS AND DIFFUSERS AND MAKE-UP AIR	PANEL WITH SHUTTERS AND DIFFUSERS AND MAKE-UP AIR
	PANEL WITH SHUTTERS AND DIFFUSERS AND MAKE-UP AIR AND RETURN AIR	PANEL WITH SHUTTERS AND DIFFUSERS AND MAKE-UP AIR AND RETURN AIR
	PANEL WITH SHUTTERS AND DIFFUSERS AND MAKE-UP AIR AND RETURN AIR AND SUPPLY AIR	PANEL WITH SHUTTERS AND DIFFUSERS AND MAKE-UP AIR AND RETURN AIR AND SUPPLY AIR



SCHEDULE

1900-2000	= 18"
1800-1900	= 16"
1700-1800	= 14"
1600-1700	= 12"
1500-1600	= 10"
1400-1500	= 8"
1300-1400	= 6"
1200-1300	= 5"
1100-1200	= 4"
1000-1100	= 3"
900-1000	= 2"

GRILLS & REGISTERS	SUPPLY	RETURN
MANUFACTURER	HART & COOLEY	
MODEL NUMBER	RENPS	
SIZE	24x24	
DAMPER		
MATERIAL	STEEL	
FINISH	DOOR WHITE	
	W/FILTER(20x40)	

PULSE ORLANDO  
1912 S. ORANGE AVENUE

ENGINEERS - DESIGNERS  
**AB & ASSOCIATES**  
2403 HARBECK LANE  
SORRENTO, FLORIDA 32776  
5463  
AUG. 1958  
COMMERCIAL DESIGN SHEETLIST

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11-2
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FLORIDA
ARCHITECTS - ENGINEERS - DESIGNERS
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2405 HARBORCREEK LANE
SCORRENTO, FLORIDA 32776
(407) 467 - 5463
AND: BELCOLA COMMERCIAL DESIGN SERVICES
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<i>[Signature]</i>

# HYAC DETAILS/NOTE PLAN

1/4" = 1'-0"

### DUCT FABRICATION NOTES

SECTION	DESCRIPTION
1	DUCT FABRICATION
2	DUCT SUPPORTS
3	DUCT CONNECTIONS
4	DUCT INSULATION
5	DUCT CLEANING
6	DUCT TESTING
7	DUCT MAINTENANCE
8	DUCT REPAIRS
9	DUCT REPLACEMENT
10	DUCT DISPOSAL
11	DUCT STORAGE
12	DUCT TRANSPORT
13	DUCT INSTALLATION
14	DUCT OPERATION
15	DUCT REMOVAL

### HYAC GENERAL NOTES

1. THE SIZE, LOCATION, HEIGHT, ELECTRICAL REQUIREMENTS AND SERVICE CLEARANCES OF EQUIPMENT INSTALLED UNDER DIVISION 15 - MECHANICAL SHALL BE COORDINATED WITH ALL OTHER TRADES.
2. EQUIPMENT SHALL BE LOCATED TO ALLOW EASY ACCESS FOR SERVICE, MAINTENANCE, REPAIRS, AND REPLACEMENT OF PARTS OR INTERNAL ASSEMBLIES. PROVIDE SERVICE CLEARANCES FOR EQUIPMENT PER MANUFACTURER'S REQUIREMENTS.
3. WHERE CONDUIT LOCATIONS EXIST, WHERE THERE IS A POSSIBILITY OF CONTACT BETWEEN TRADES, CONTRACTOR SHALL MAKE COORDINATE DRAWINGS SHOWING THE EXACT LOCATION OF PIPES, CONDUIT AND EQUIPMENT AND REPAIRS SHALL BE MADE ON FIELD REVISIONS AND AFTER CONSULTATION AND AGREEMENT WITH THE ARCHITECT. SHALL BE APPROVED BY THE ARCHITECT BEFORE INSTALLATION OF THE WORK.
4. MECHANICAL CONTRACTOR SHALL COORDINATE ALL LOCATIONS WHERE DUCTS MUST CROSS OTHER DUCTS OR TRAYS. TRAYS MUST BE INSTALLED ABOVE DUCTS. TRAYS MUST BE INSTALLED ABOVE DUCTS. TRAYS MUST BE INSTALLED ABOVE DUCTS.
5. MECHANICAL CONTRACTOR SHALL COORDINATE WITH ARCHITECT AND GENERAL CONTRACTOR FOR PROVIDING AND VERIFYING STRUCTURAL SUPPORT AND FRAMING FOR ALL DUCTS. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND VERIFYING STRUCTURAL SUPPORT AND FRAMING FOR ALL DUCTS.
6. NOTIFY ARCHITECT OF ANY CONTACTS FROM TO PURCHASING EQUIPMENT AND FROM TO CUTTING OPENINGS.
7. DETAILS SHOWN ARE SCHEDULES - NOT ACTUAL SECTIONS.
8. OUTSIDE AIR INTAKES SHALL BE A MINIMUM OF 12" ABOVE THE ROOF AND A MINIMUM OF 10'-0" FROM AIR EXHAUST OR PLUMBING VENT.
9. ALL OUTSIDE AIR DUCTWORK SHALL BE SIZED WITH.
10. ALL FLEXIBLE DUCTWORK SHALL BE INSULATED, LOW PRESSURE TYPE WITH PERMISSIBLE FLEXIBILITY AND A 2" MINIMUM INSULATION. ALL FLEXIBLE DUCTWORK SHALL BE INSULATED, LOW PRESSURE TYPE WITH PERMISSIBLE FLEXIBILITY AND A 2" MINIMUM INSULATION.
11. FLEXIBLE DUCTWORK TO OVERHEADS SHALL BE SIZED TO BE 1/2" ABOVE OVERHEADS. ALL FLEXIBLE DUCT SHALL BE SIZED TO BE 1/2" ABOVE OVERHEADS. ALL FLEXIBLE DUCT SHALL BE SIZED TO BE 1/2" ABOVE OVERHEADS.
12. THE KITCHEN RANGE HOOD EXHAUST SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE KITCHEN RANGE HOOD EXHAUST SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
13. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE KITCHEN RANGE HOOD EXHAUST SYSTEM. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE KITCHEN RANGE HOOD EXHAUST SYSTEM.
14. PROVIDE 120 VOLT SINGLE-PHASE 20 AMPERES CIRCUIT BREAKER WITH 120 VOLT SPLIT-POLE SWITCH AND 20 AMPERE CIRCUIT BREAKER WITH 120 VOLT SPLIT-POLE SWITCH.
15. MECHANICAL CONTRACTOR SHALL PROVIDE THE KITCHEN RANGE HOOD EXHAUST SYSTEM. MECHANICAL CONTRACTOR SHALL PROVIDE THE KITCHEN RANGE HOOD EXHAUST SYSTEM.
16. MECHANICAL CONTRACTOR SHALL PROVIDE THE KITCHEN RANGE HOOD EXHAUST SYSTEM. MECHANICAL CONTRACTOR SHALL PROVIDE THE KITCHEN RANGE HOOD EXHAUST SYSTEM.
17. ALL SERVICES TO EXISTING BUILDINGS SHALL BE MAINTAINED DURING CONSTRUCTION. ALL SERVICES TO EXISTING BUILDINGS SHALL BE MAINTAINED DURING CONSTRUCTION.
18. AN EXHAUST SYSTEM SHALL BE PROVIDED WITH SHORT DETECTORS LISTED AND LABELED FOR INSTALLATION IN AN OPERATIONAL SYSTEM. AN EXHAUST SYSTEM SHALL BE PROVIDED WITH SHORT DETECTORS LISTED AND LABELED FOR INSTALLATION IN AN OPERATIONAL SYSTEM.
19. MECHANICAL CONTRACTOR SHALL PROVIDE THE KITCHEN RANGE HOOD EXHAUST SYSTEM. MECHANICAL CONTRACTOR SHALL PROVIDE THE KITCHEN RANGE HOOD EXHAUST SYSTEM.
20. VENT WITH FLEX THROUGH ROOF SHALL BE SIZED TO BE 1/2" ABOVE ROOF. VENT WITH FLEX THROUGH ROOF SHALL BE SIZED TO BE 1/2" ABOVE ROOF.
21. ALL DUCT WORK TO BE SUSPENDED FROM THE CORNER OF TRUSS HANGER STAYS THAT WILL COME IN CONTACT WITH THE DUCT WORK SHALL BE NO LESS THAN 12" WIDE.

### DUCT FABRICATION NOTES

ALL DUCTWORK SHALL CONFORM TO THE 2001 ASHRAE ENERGY CODE, SECTIONS 4.1.1.1.1 AND 4.1.1.1.2. ALL DUCTWORK SHALL CONFORM TO THE 2001 ASHRAE ENERGY CODE, SECTIONS 4.1.1.1.1 AND 4.1.1.1.2.

MECHANICAL CONTRACTOR SHALL PROVIDE THE KITCHEN RANGE HOOD EXHAUST SYSTEM. MECHANICAL CONTRACTOR SHALL PROVIDE THE KITCHEN RANGE HOOD EXHAUST SYSTEM.

MECHANICAL CONTRACTOR SHALL PROVIDE THE KITCHEN RANGE HOOD EXHAUST SYSTEM. MECHANICAL CONTRACTOR SHALL PROVIDE THE KITCHEN RANGE HOOD EXHAUST SYSTEM.

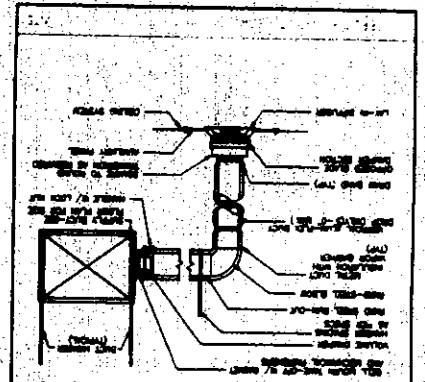
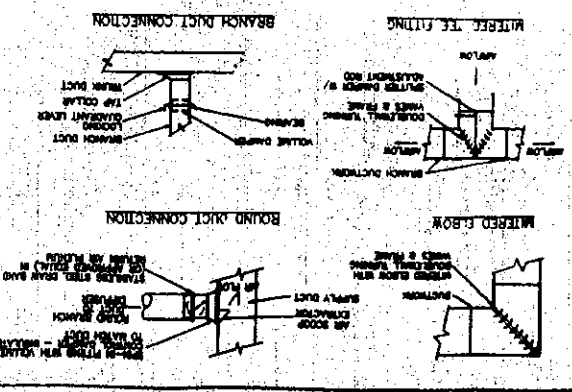
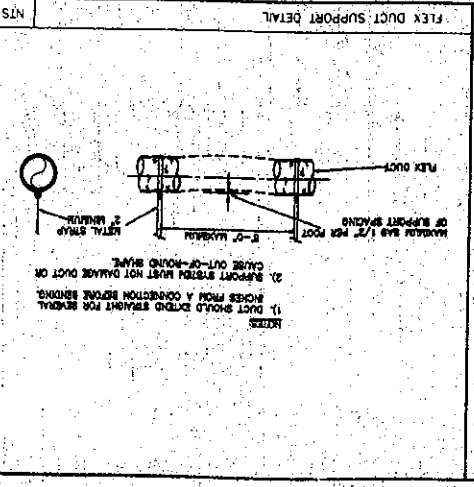
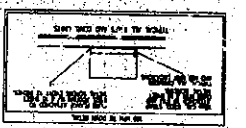
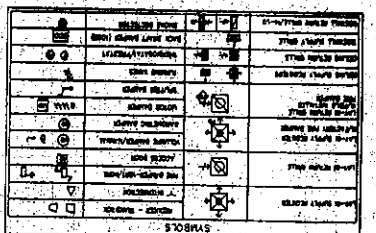
MECHANICAL CONTRACTOR SHALL PROVIDE THE KITCHEN RANGE HOOD EXHAUST SYSTEM. MECHANICAL CONTRACTOR SHALL PROVIDE THE KITCHEN RANGE HOOD EXHAUST SYSTEM.

SUGGESTION OF FLEXIBLE DUCTS						
TYPE BRAND MOD # CFM SP W/ AMPS VOLTAGE	11	FLEXIBLE DUCT	130	50	115	115
SUBSTITUTIONS OF FLEXIBLE DUCTS NOT ALLOWED						

OUTSIDE AIR CALCULATIONS ARE BASED ON ASHRAE 62-1989 SUBSECTION 6.1.3, TABLE 2.1 COMMERCIAL FACILITIES

BUILDING PRESSURE	
INDUCED OUTSIDE AIR CFM	260 CFM
EXHAUST AIR	240 CFM
EX-1 - 120	240 CFM
EX-2 - 120	240 CFM

TYPE BRAND MOD # CFM SP W/ AMPS VOLTAGE	11	FLEXIBLE DUCT	130	50	115	115
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TYPE BRAND MOD # CFM SP W/ AMPS VOLTAGE	11	FLEXIBLE DUCT	130	50	115	115
---	----	---------------	-----	----	-----	-----

TYPE BRAND MOD # CFM SP W/ AMPS VOLTAGE	11	FLEXIBLE DUCT	130	50	115	115
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HVAC DETAILS/NOTE PLAN

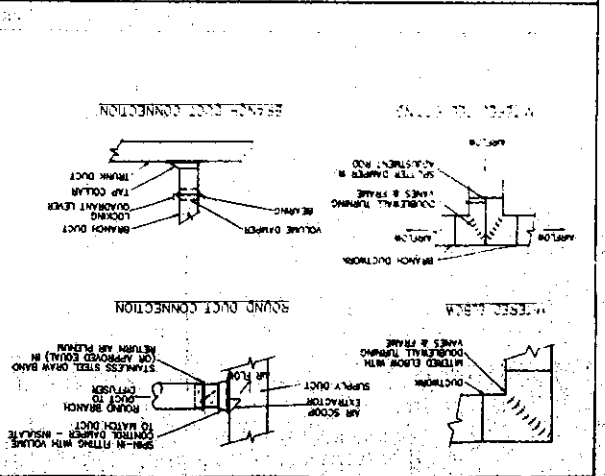
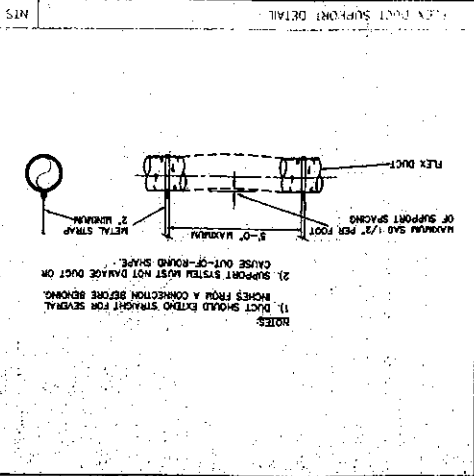
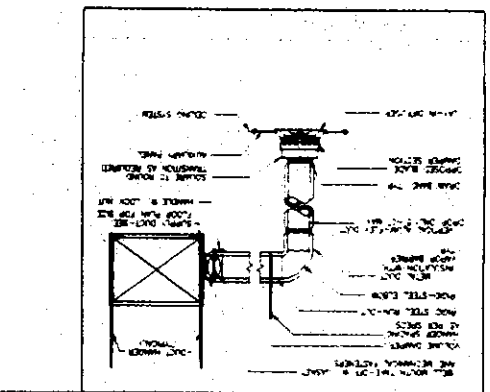
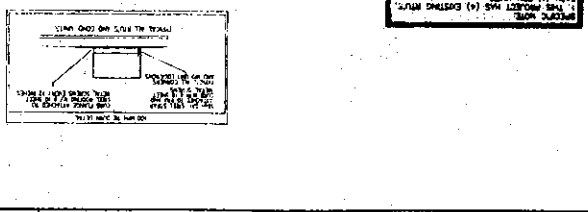
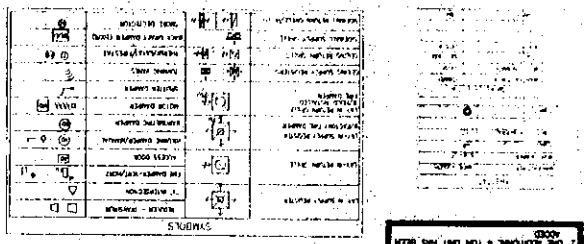
NO.	DESCRIPTION	REMARKS
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PROJECT: ...  
 DRAWING NO.: ...  
 SHEET NO.: ...  
 DATE: ...

PROJECT: ...  
 DRAWING NO.: ...  
 SHEET NO.: ...  
 DATE: ...

SUBSECTION B.1.3, TABLE 2.1 COMMERCIAL FACILITIES

TEMPERATURE	RELATIVE HUMIDITY	WIND VELOCITY
70 F	50%	10 MPH
75 F	50%	10 MPH
80 F	50%	10 MPH
85 F	50%	10 MPH
90 F	50%	10 MPH
95 F	50%	10 MPH
100 F	50%	10 MPH



**HVAC GENERAL NOTES**

1. THE SIZE, LOCATION, WEIGHT, ELECTRICAL REQUIREMENTS AND SERVICE CLEARANCES OF EQUIPMENT INSTALLED UNDER DIVISION 15 - MECHANICAL SHALL BE COORDINATED WITH ALL OTHER TRADES.
2. EQUIPMENT SHALL BE LOCATED TO ALLOW EASY ACCESS FOR SERVICING, ADJUSTMENT, MAINTENANCE AND SPACE FOR REMOVAL OF INTERNAL COMPONENTS. PROTECTIVE GRATES SHALL BE INSTALLED AT ALL ACCESS POINTS.
3. WHERE CHANGED LOCATIONS EXIST OR WHERE THERE IS A POSSIBILITY OF CONFLICT BETWEEN TRADES, CONTRACTOR SHALL MAKE COORDINATE DRAWINGS SHOWING THE EXACT LOCATION OF PIPES, DUCTS, CONDUITS AND EQUIPMENT. DRAWINGS SHALL BE CHECKED TO AVOID CONFLICTS WITH STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND OTHER TRADES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING CLEARANCES FOR ALL TRADES.
4. MECHANICAL CONTRACTOR SHALL COORDINATE ALL LOCATIONS WHERE DUCTS MUST CROSS OTHER DUCTS OR TRAVEL THRU OR BETWEEN JOISTS. PROVIDE CLEAR SPACES BETWEEN JOISTS.
5. MECHANICAL CONTRACTOR SHALL COORDINATE WITH ARCHITECT AND GENERAL CONTRACTOR ON REVISIONS AND SYSTEMS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING CLEARANCES FOR ALL TRADES.
6. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO PURCHASING EQUIPMENT AND PRIOR TO ORDERING OPENINGS.
7. DETAILS SHOWN ARE GENERAL - NOT ACTUAL SECTIONS.
8. OUTSIDE AIR INTAKE SHALL BE A MINIMUM OF 12" ABOVE THE ROOF AND A MINIMUM OF 10'-0" FROM ANY EXHAUST OR PLUMBING VENT.
9. ALL OUTSIDE AIR DUCTWORK SHALL BE SHEET METAL.
10. ALL REFRIGERANT DUCTWORK SHALL BE INSULATED. LOW PRESSURE REFRIGERANT PIPING SHALL BE INSULATED WITH A MINIMUM OF 1" OF INSULATION.
11. REFRIGERANT PIPING SHALL BE A MINIMUM OF 2" ABOVE THE ROOF AND A MINIMUM OF 10'-0" FROM ANY EXHAUST OR PLUMBING VENT. ALL REFRIGERANT PIPING SHALL BE INSULATED WITH A MINIMUM OF 1" OF INSULATION.
12. THE KITCHEN RANGE HOOD EXHAUST DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES. EXHAUST DUCTWORK SHALL BE SHEET METAL. EXHAUST DUCTWORK SHALL BE INSTALLED WITH AN EXHAUST FAN. EXHAUST DUCTWORK SHALL BE INSTALLED WITH AN EXHAUST FAN. EXHAUST DUCTWORK SHALL BE INSTALLED WITH AN EXHAUST FAN.
13. ALL SUPPLY AIR DUCT TAKE-OFFS FROM TRUNK AND BRANCH DUCTWORK SHALL BE INSTALLED WITH AN EXHAUST FAN. EXHAUST DUCTWORK SHALL BE INSTALLED WITH AN EXHAUST FAN. EXHAUST DUCTWORK SHALL BE INSTALLED WITH AN EXHAUST FAN.
14. REFRIGERANT PIPING SHALL BE A MINIMUM OF 2" ABOVE THE ROOF AND A MINIMUM OF 10'-0" FROM ANY EXHAUST OR PLUMBING VENT. ALL REFRIGERANT PIPING SHALL BE INSULATED WITH A MINIMUM OF 1" OF INSULATION.
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**PULSE ORLANDO**  
 1912 S. ORANGE AVENUE

**AB & ASSOCIATES**  
 2400 HARBECKLANE  
 SORENTINO, FLORIDA 32776

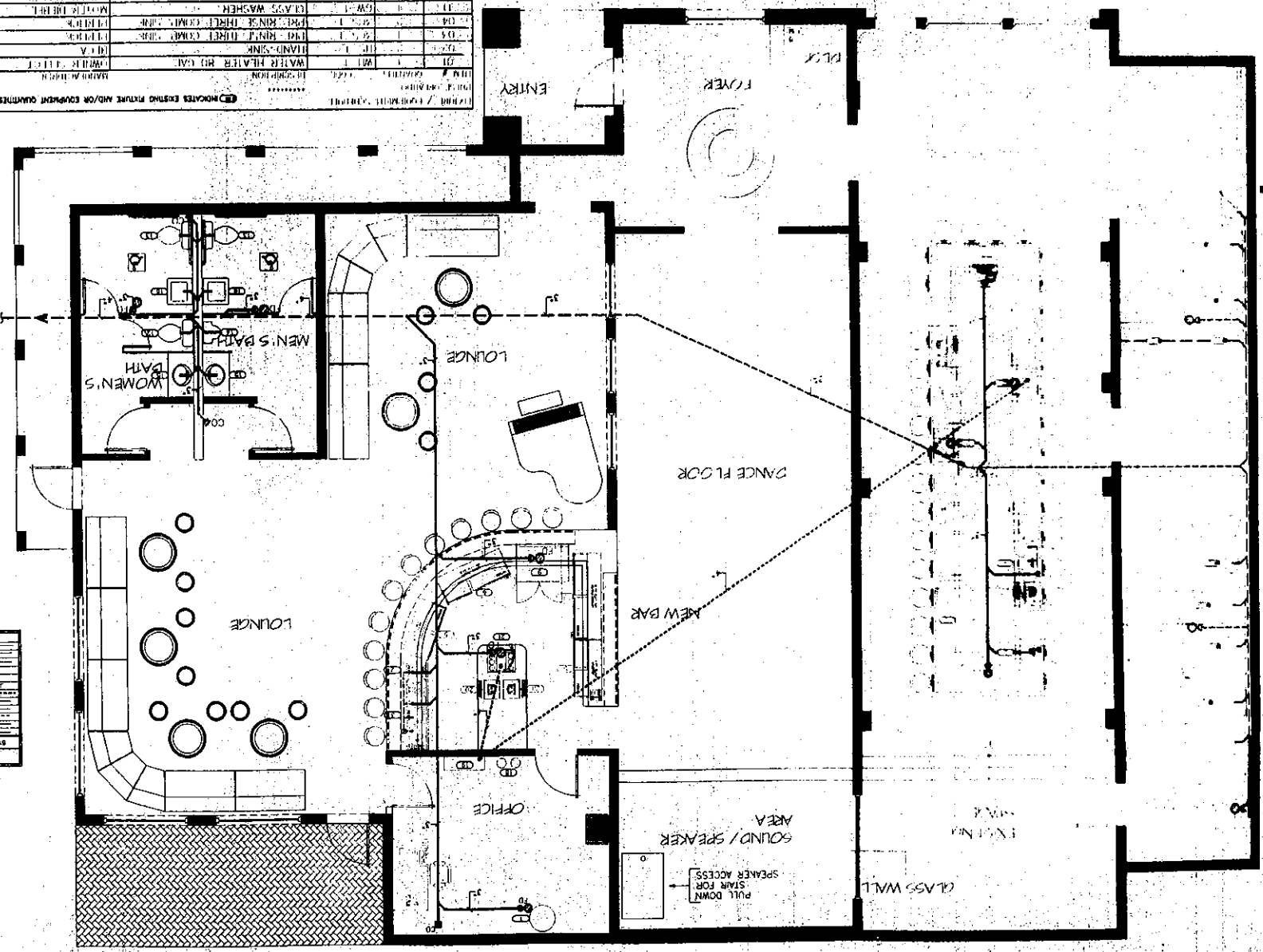
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DATE: 11/19/03

Bob Dringer

SANITARY/WASTE/VENT PLAN

NO.	DESCRIPTION	QTY	UNIT	DATE
01	WATER HEATER 40 GAL	1	EA	11/11/00
02	HAND-SINK	1	EA	11/11/00
03	HAND-TOWEL DISPENSER	1	EA	11/11/00
04	TOILET	2	EA	11/11/00
05	URINAL	2	EA	11/11/00
06	WATER CUP WARMER	1	EA	11/11/00
07	WATER CUP DISPENSER	1	EA	11/11/00
08	CLASS WASHEN	1	EA	11/11/00
09	WATER HEATER 40 GAL	1	EA	11/11/00
10	WATER HEATER 40 GAL	1	EA	11/11/00
11	WATER HEATER 40 GAL	1	EA	11/11/00
12	WATER HEATER 40 GAL	1	EA	11/11/00
13	WATER HEATER 40 GAL	1	EA	11/11/00
14	WATER HEATER 40 GAL	1	EA	11/11/00
15	WATER HEATER 40 GAL	1	EA	11/11/00
16	WATER HEATER 40 GAL	1	EA	11/11/00
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18	WATER HEATER 40 GAL	1	EA	11/11/00
19	WATER HEATER 40 GAL	1	EA	11/11/00
20	WATER HEATER 40 GAL	1	EA	11/11/00
21	WATER HEATER 40 GAL	1	EA	11/11/00
22	WATER HEATER 40 GAL	1	EA	11/11/00
23	WATER HEATER 40 GAL	1	EA	11/11/00
24	WATER HEATER 40 GAL	1	EA	11/11/00
25	WATER HEATER 40 GAL	1	EA	11/11/00
26	WATER HEATER 40 GAL	1	EA	11/11/00
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47	WATER HEATER 40 GAL	1	EA	11/11/00
48	WATER HEATER 40 GAL	1	EA	11/11/00
49	WATER HEATER 40 GAL	1	EA	11/11/00
50	WATER HEATER 40 GAL	1	EA	11/11/00



- - - - - NEW SANITARY  
 - - - - - EXISTING SANITARY  
 - - - - - VENT  
 - - - - - PVC BEVERAGE CHASE

PLUMBING SYMBOL LEGEND

SYMBOL	DESCRIPTION
[Symbol]	WATER HEATER
[Symbol]	TOILET
[Symbol]	URINAL
[Symbol]	SINK
[Symbol]	WATER CUP WARMER
[Symbol]	WATER CUP DISPENSER
[Symbol]	CLASS WASHEN
[Symbol]	VENT
[Symbol]	PVC BEVERAGE CHASE

PROJECT: COMPANY  
**PULSE ORLANDO**  
 1912 S. ORANGE AVE.

ARCHITECTS - ENGINEERS - DESIGNERS  
**AB & ASSOCIATES**  
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 407-855-1120

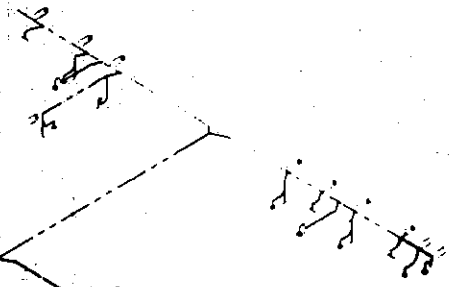
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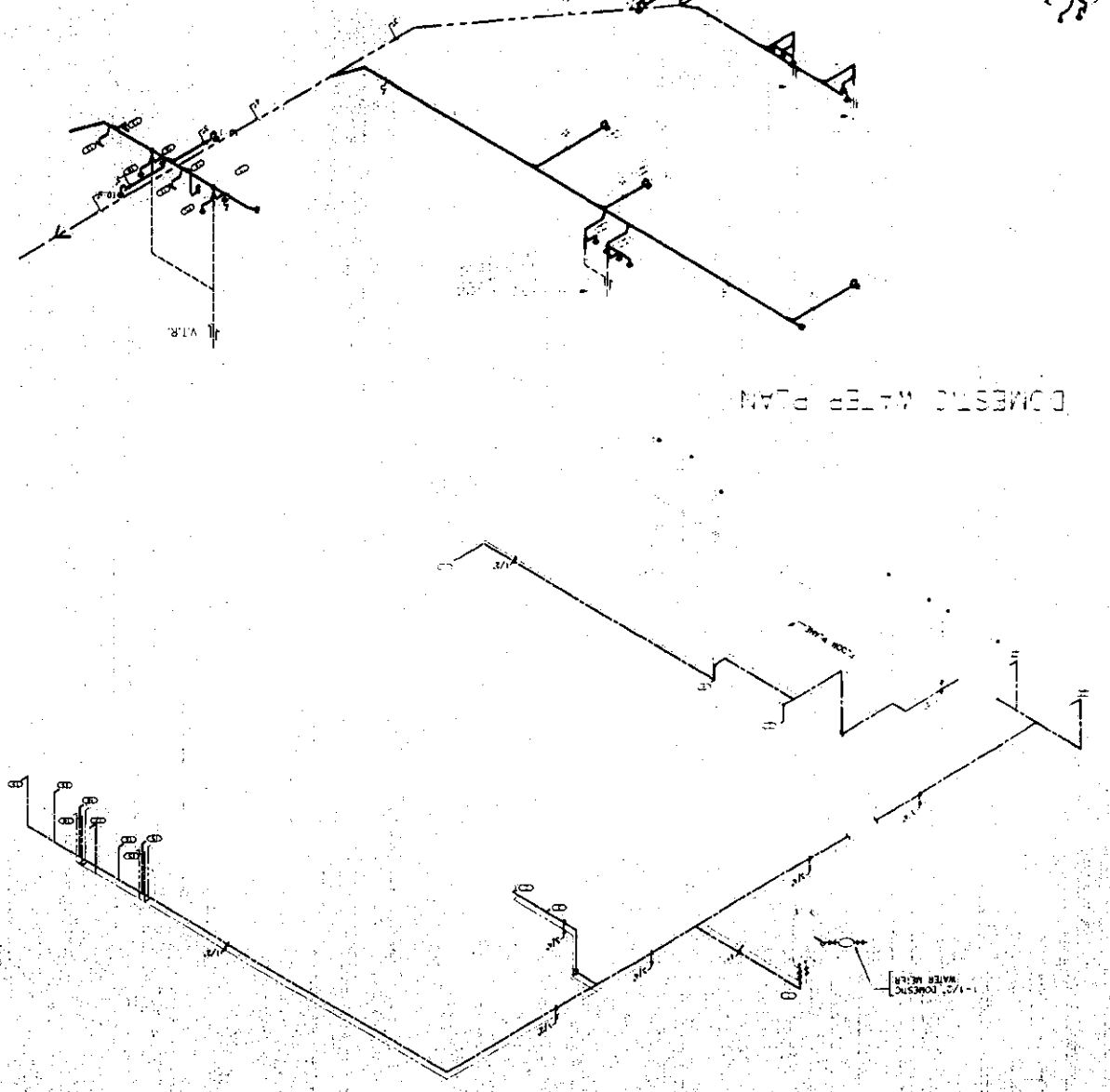
PLUMBING SCHEMATIC / NOTE PLAN

NO.	DESCRIPTION	UNIT	QTY.	REMARKS
1	WATER SERVICE			
2	WATER SERVICE			
3	WATER SERVICE			
4	WATER SERVICE			
5	WATER SERVICE			
6	WATER SERVICE			
7	WATER SERVICE			
8	WATER SERVICE			
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47	WATER SERVICE			
48	WATER SERVICE			
49	WATER SERVICE			
50	WATER SERVICE			

Sanitary / Note Plan



DOMESTIC WATER PLAN



- - - - - PVC BEVERAGE CHASE  
 - - - - - VENT  
 - - - - - EXISTING SANITARY  
 - - - - - NEW SANITARY

**NEW CONSTRUCTION:**

- COORDINATE ALL PIPING ROUTING WITH ALL OTHER TRADES FROM 20' VERTICAL TO 10' HORIZONTAL TO INSURE THAT SUFFICIENT CLEARANCE IS MAINTAINED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AS SHOWN ON THE PLANS. USING THE MANUFACTURER'S AND MODEL NUMBERS AS CALLED FOR IN THE PLANS. PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- THE CONTRACTOR IS EXPECTED TO ORDER ALL MATERIALS IN ADVANCE TO AVOID DELAY IN THE COMPLETION OF THE PROJECT. DELAY IN DELIVERY WILL NOT BE CONSIDERED A JUSTIFIABLE REASON FOR SUBSTITUTION OF MATERIALS.
- ROUTE ALL PIPING CONCEALED ABOVE CEILING, WITHIN WALLS, OR IN CHASES EXCEPT AS SPECIALLY NOTED ON MECHANICAL ROOMS. PIPING SHALL NOT BE RUN THROUGH ELECTRICAL ROOMS OR CHASES.
- SEE ALL PIPING AT PERFORATIONS OF RATED WALLS, CEILING, FLOORS, ETC. IN ACCORDANCE WITH APPLICABLE UL STANDARDS AND LOCAL CODES TO MAINTAIN RATINGS.
- SEE SPECIFICATION - SEE ARCHITECTURAL DRAWINGS FOR RATED WALLS AND FLOORS.
- PIPE ROUTING SHOWN IS SCHEMATIC AND IS INTENDED TO INDICATE GENERAL ROUTING. PLUMBING CONTRACTOR SHALL PROVIDE ANY ADDITIONAL OFFSETS AND FITTINGS REQUIRED FOR PROPER INSTALLATION AND TO MAINTAIN CLEARANCES AS ENCOUNTERED IN FIELD.
- ALL PLUMBING INSTALLATION AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL CODES AND APPLICABLE STANDARDS, REGULATIONS, AND AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
- PROVIDE ACCESS PANELS TO ALL VALVES WITHIN CHASES OR ABOVE NON-ACCESSIBLE CEILING. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPES.
- INSTALL WATER HAMMER SHOCK ARRESTORS AT EACH FIXTURE OR BATTERY OF FIXTURES AND SIZE PER PLUMBING AND FIXTURE MANUFACTURER'S INSTRUCTIONS AND SEE MANUFACTURERS - SHOCK ARRESTOR AND INSTALL INSTRUCTIONS (SEE SHEET 10-201). MAKE AIR CHARGERS ARE NOT ACCEPTABLE.
- SITE CONNECTIONS SHALL BE PROVIDED ON CIVIL SITE UTILITIES DRAWINGS. ALL SERVICES SHOWN ON THIS SET OF PLANS TERMINATE 5'-0" FROM BUILDING, UNLESS SHOWN OTHERWISE ON DRAWINGS. THIS CONNECTION SHALL MAKE ALL FINAL PLUMBING SERVICE CONNECTIONS TO SITE WORK UTILITIES.
- DRAINAGE PIPING SHALL HAVE A SLOPE NO LESS THAN 1/8" FALL PER FOOT. SEE SPECIFICATION.
- EXISTING CONDITIONS AS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL AS-BUILT DRAWINGS OF THE BUILDING AND IN PART ARE UNVERIFIED. FIELD CONDITIONS SHALL GOVERN. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO INITIATION OF PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXISTING PLUMBING FIXTURES AND TRAP PIPING, VALVES, ETC. IN AREAS TO BE DEMOLISHED.
- ALL EXISTING PIPING ABOVE THE FLOOR NOT REMAINING IN SERVICE AFTER NEW CONSTRUCTION SHALL BE REMOVED. ALL EXISTING PIPING BELOW THE FLOOR NOT REMAINING IN SERVICE AFTER NEW CONSTRUCTION SHALL BE REMOVED ON CONCOURSE FLOOR AND ABOVE FLOOR. CAP PIPING BELOW FLOOR AT THE FIXTURE AND BELOW PIPE CONNECTIONS TO THE MAIN RUN AS TO LEAVE NO "DEAD END" LINES OR PIPING.
- ALL EXISTING SANITARY PIPING AND REMAINING IN SERVICE AFTER CONSTRUCTION SHALL BE RELOCATED TO NEW WALLS, CHASES, ETC.
- PIPING WHICH IS TO REMAIN IN SERVICE SHALL NOT BE OVERTOPPED. EXISTING PIPING BROKEN DURING CONSTRUCTION SHALL BE REPLACED WITH NEW PIPING OF THE SAME SIZE AND MATERIAL.
- PATCH AT EXISTING WALLS, FLOORS, CEILING, ETC. AS REQUIRED BY NEW WORK IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS.
- THIS CONTRACTOR SHALL TEST ALL NEW AND EXISTING NATURAL GAS PIPING FOR LEAKS ON SIGNIFICANT DETECTION.
- ALL EXISTING PLUMBING FIXTURES TO BE REMOVED AND ARE NOT TO BE REUSED SHALL REMAIN THE PROPERTY OF THE OWNER. DISCARD UNWANTED FIXTURES AT THE DISCRETION TO THE OWNER.
- PLUMBING CONTRACTOR SHALL OBTAIN APPROVAL FROM THE AUTHORITIES HAVING JURISDICTION TO THE ARCHITECT/ENGINEER FOR ANY PIPING CONNECTIONS AND SIZES THAT DIFFER FROM THOSE SHOWN ON PLUMBING DRAWINGS AS A RESULT OF EXISTING SITE CONDITIONS AND/OR EXISTING PIPING LOCATIONS.
- EXISTING BUILDING SERVICE LINES THAT ARE USED WITH NEW BUILDING SERVICES SHALL BE RELOCATED AND TESTED TO CONFORM IN ALL RESPECTS TO ALL THE REQUIREMENTS OF PLUMBING AUTHORITIES HAVING JURISDICTION AND APPLICABLE PLUMBING CODES.

PLUMBING GENERAL NOTES

PULSE ORLANDO  
1912 S. ORANGE AVE.

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ENGINEERS  
DESIGNERS  
AB & ASSOCIATES  
2440 HARBECK LANE  
SARASOTA, FLORIDA 34237  
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10/2001

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10/2001

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PLUMBING DETAIL/NOTE PLAN

<p>10 WAIT AT ABOVE</p> <p>NOT TO SCALE</p>	<p>11 WAIT AT ABOVE</p> <p>NOT TO SCALE</p>	<p>12 WAIT AT ABOVE</p> <p>NOT TO SCALE</p>	<p>13 WAIT AT ABOVE</p> <p>NOT TO SCALE</p>
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<p>22 WAIT AT ABOVE</p> <p>NOT TO SCALE</p>	<p>23 WAIT AT ABOVE</p> <p>NOT TO SCALE</p>	<p>24 WAIT AT ABOVE</p> <p>NOT TO SCALE</p>	<p>25 WAIT AT ABOVE</p> <p>NOT TO SCALE</p>

PULSE ORLANDO  
1912 S. ORANGE AVE

AB & ASSOCIATES  
24005 HARBORLANE  
SOBRENTO, FLORIDA 32776

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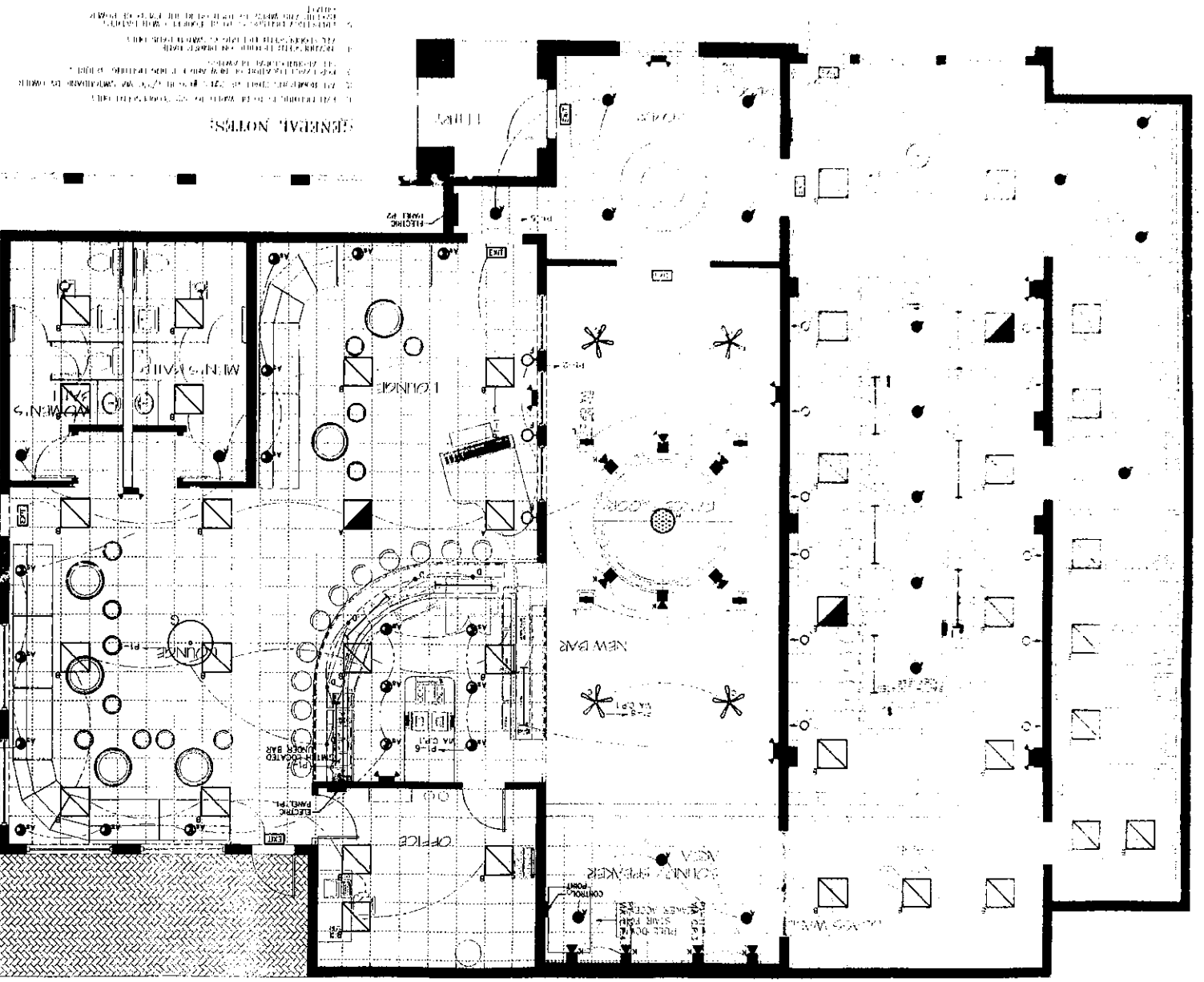
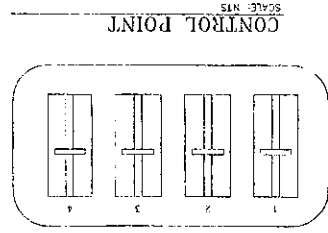
ELECTRICAL LIGHTING PLAN

AS NOTED OR EQUAL

FROM: FIXTURE SCHEDULE

DATE: 10/20/01

NO.	DESCRIPTION	QTY	UNIT
1	1" DIA. 1/2" H. ROUND ROD (R1)	120	EA
2	1" DIA. 1/2" H. ROUND ROD (R2)	120	EA
3	1" DIA. 1/2" H. ROUND ROD (R3)	120	EA
4	1" DIA. 1/2" H. ROUND ROD (R4)	120	EA
5	1" DIA. 1/2" H. ROUND ROD (R5)	120	EA
6	1" DIA. 1/2" H. ROUND ROD (R6)	120	EA
7	1" DIA. 1/2" H. ROUND ROD (R7)	120	EA
8	1" DIA. 1/2" H. ROUND ROD (R8)	120	EA
9	1" DIA. 1/2" H. ROUND ROD (R9)	120	EA
10	1" DIA. 1/2" H. ROUND ROD (R10)	120	EA
11	1" DIA. 1/2" H. ROUND ROD (R11)	120	EA
12	1" DIA. 1/2" H. ROUND ROD (R12)	120	EA
13	1" DIA. 1/2" H. ROUND ROD (R13)	120	EA
14	1" DIA. 1/2" H. ROUND ROD (R14)	120	EA
15	1" DIA. 1/2" H. ROUND ROD (R15)	120	EA
16	1" DIA. 1/2" H. ROUND ROD (R16)	120	EA
17	1" DIA. 1/2" H. ROUND ROD (R17)	120	EA
18	1" DIA. 1/2" H. ROUND ROD (R18)	120	EA
19	1" DIA. 1/2" H. ROUND ROD (R19)	120	EA
20	1" DIA. 1/2" H. ROUND ROD (R20)	120	EA
21	1" DIA. 1/2" H. ROUND ROD (R21)	120	EA
22	1" DIA. 1/2" H. ROUND ROD (R22)	120	EA
23	1" DIA. 1/2" H. ROUND ROD (R23)	120	EA
24	1" DIA. 1/2" H. ROUND ROD (R24)	120	EA
25	1" DIA. 1/2" H. ROUND ROD (R25)	120	EA
26	1" DIA. 1/2" H. ROUND ROD (R26)	120	EA
27	1" DIA. 1/2" H. ROUND ROD (R27)	120	EA
28	1" DIA. 1/2" H. ROUND ROD (R28)	120	EA
29	1" DIA. 1/2" H. ROUND ROD (R29)	120	EA
30	1" DIA. 1/2" H. ROUND ROD (R30)	120	EA
31	1" DIA. 1/2" H. ROUND ROD (R31)	120	EA
32	1" DIA. 1/2" H. ROUND ROD (R32)	120	EA
33	1" DIA. 1/2" H. ROUND ROD (R33)	120	EA
34	1" DIA. 1/2" H. ROUND ROD (R34)	120	EA
35	1" DIA. 1/2" H. ROUND ROD (R35)	120	EA
36	1" DIA. 1/2" H. ROUND ROD (R36)	120	EA
37	1" DIA. 1/2" H. ROUND ROD (R37)	120	EA
38	1" DIA. 1/2" H. ROUND ROD (R38)	120	EA
39	1" DIA. 1/2" H. ROUND ROD (R39)	120	EA
40	1" DIA. 1/2" H. ROUND ROD (R40)	120	EA
41	1" DIA. 1/2" H. ROUND ROD (R41)	120	EA
42	1" DIA. 1/2" H. ROUND ROD (R42)	120	EA
43	1" DIA. 1/2" H. ROUND ROD (R43)	120	EA
44	1" DIA. 1/2" H. ROUND ROD (R44)	120	EA
45	1" DIA. 1/2" H. ROUND ROD (R45)	120	EA
46	1" DIA. 1/2" H. ROUND ROD (R46)	120	EA
47	1" DIA. 1/2" H. ROUND ROD (R47)	120	EA
48	1" DIA. 1/2" H. ROUND ROD (R48)	120	EA
49	1" DIA. 1/2" H. ROUND ROD (R49)	120	EA
50	1" DIA. 1/2" H. ROUND ROD (R50)	120	EA
51	1" DIA. 1/2" H. ROUND ROD (R51)	120	EA
52	1" DIA. 1/2" H. ROUND ROD (R52)	120	EA
53	1" DIA. 1/2" H. ROUND ROD (R53)	120	EA
54	1" DIA. 1/2" H. ROUND ROD (R54)	120	EA
55	1" DIA. 1/2" H. ROUND ROD (R55)	120	EA
56	1" DIA. 1/2" H. ROUND ROD (R56)	120	EA
57	1" DIA. 1/2" H. ROUND ROD (R57)	120	EA
58	1" DIA. 1/2" H. ROUND ROD (R58)	120	EA
59	1" DIA. 1/2" H. ROUND ROD (R59)	120	EA
60	1" DIA. 1/2" H. ROUND ROD (R60)	120	EA
61	1" DIA. 1/2" H. ROUND ROD (R61)	120	EA
62	1" DIA. 1/2" H. ROUND ROD (R62)	120	EA
63	1" DIA. 1/2" H. ROUND ROD (R63)	120	EA
64	1" DIA. 1/2" H. ROUND ROD (R64)	120	EA
65	1" DIA. 1/2" H. ROUND ROD (R65)	120	EA
66	1" DIA. 1/2" H. ROUND ROD (R66)	120	EA
67	1" DIA. 1/2" H. ROUND ROD (R67)	120	EA
68	1" DIA. 1/2" H. ROUND ROD (R68)	120	EA
69	1" DIA. 1/2" H. ROUND ROD (R69)	120	EA
70	1" DIA. 1/2" H. ROUND ROD (R70)	120	EA
71	1" DIA. 1/2" H. ROUND ROD (R71)	120	EA
72	1" DIA. 1/2" H. ROUND ROD (R72)	120	EA
73	1" DIA. 1/2" H. ROUND ROD (R73)	120	EA
74	1" DIA. 1/2" H. ROUND ROD (R74)	120	EA
75	1" DIA. 1/2" H. ROUND ROD (R75)	120	EA
76	1" DIA. 1/2" H. ROUND ROD (R76)	120	EA
77	1" DIA. 1/2" H. ROUND ROD (R77)	120	EA
78	1" DIA. 1/2" H. ROUND ROD (R78)	120	EA
79	1" DIA. 1/2" H. ROUND ROD (R79)	120	EA
80	1" DIA. 1/2" H. ROUND ROD (R80)	120	EA
81	1" DIA. 1/2" H. ROUND ROD (R81)	120	EA
82	1" DIA. 1/2" H. ROUND ROD (R82)	120	EA
83	1" DIA. 1/2" H. ROUND ROD (R83)	120	EA
84	1" DIA. 1/2" H. ROUND ROD (R84)	120	EA
85	1" DIA. 1/2" H. ROUND ROD (R85)	120	EA
86	1" DIA. 1/2" H. ROUND ROD (R86)	120	EA
87	1" DIA. 1/2" H. ROUND ROD (R87)	120	EA
88	1" DIA. 1/2" H. ROUND ROD (R88)	120	EA
89	1" DIA. 1/2" H. ROUND ROD (R89)	120	EA
90	1" DIA. 1/2" H. ROUND ROD (R90)	120	EA
91	1" DIA. 1/2" H. ROUND ROD (R91)	120	EA
92	1" DIA. 1/2" H. ROUND ROD (R92)	120	EA
93	1" DIA. 1/2" H. ROUND ROD (R93)	120	EA
94	1" DIA. 1/2" H. ROUND ROD (R94)	120	EA
95	1" DIA. 1/2" H. ROUND ROD (R95)	120	EA
96	1" DIA. 1/2" H. ROUND ROD (R96)	120	EA
97	1" DIA. 1/2" H. ROUND ROD (R97)	120	EA
98	1" DIA. 1/2" H. ROUND ROD (R98)	120	EA
99	1" DIA. 1/2" H. ROUND ROD (R99)	120	EA
100	1" DIA. 1/2" H. ROUND ROD (R100)	120	EA



PLUSE ORLANDO  
5125 S ORANGE AVENUE

AB & ASSOCIATES  
2403 HARBECK LANE  
SORENTO, FLORIDA 32776

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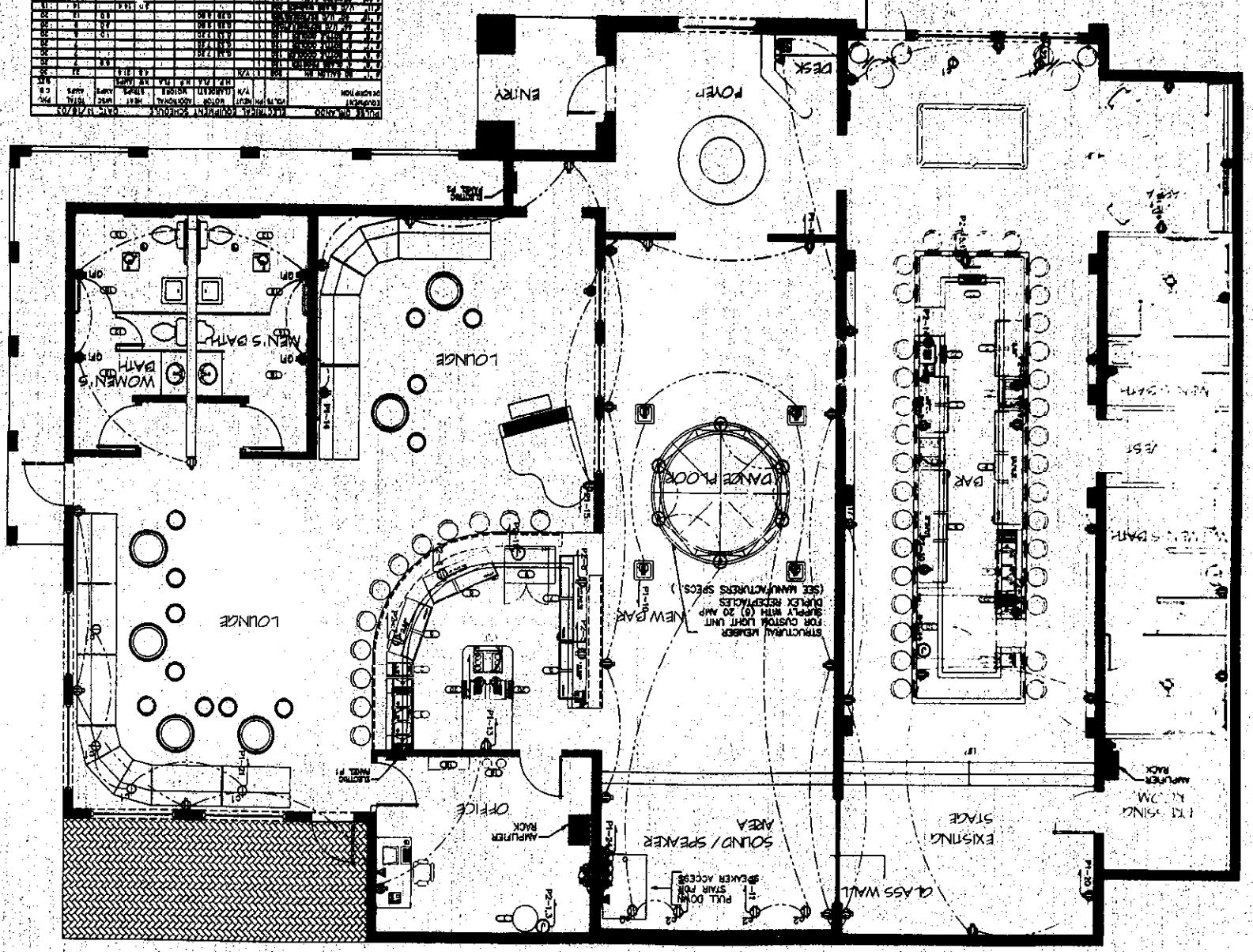
SCALE



But original

ELECTRICAL POWER PLAN  
1/4" = 1'-0"

NO.	DESCRIPTION	AMPS	VOLTS	TYPE
1	RECEIVING SYSTEM	10	120	1P
2	RECEIVING SYSTEM	10	120	1P
3	RECEIVING SYSTEM	10	120	1P
4	RECEIVING SYSTEM	10	120	1P
5	RECEIVING SYSTEM	10	120	1P
6	RECEIVING SYSTEM	10	120	1P
7	RECEIVING SYSTEM	10	120	1P
8	RECEIVING SYSTEM	10	120	1P
9	RECEIVING SYSTEM	10	120	1P
10	RECEIVING SYSTEM	10	120	1P
11	RECEIVING SYSTEM	10	120	1P
12	RECEIVING SYSTEM	10	120	1P
13	RECEIVING SYSTEM	10	120	1P
14	RECEIVING SYSTEM	10	120	1P
15	RECEIVING SYSTEM	10	120	1P
16	RECEIVING SYSTEM	10	120	1P
17	RECEIVING SYSTEM	10	120	1P
18	RECEIVING SYSTEM	10	120	1P
19	RECEIVING SYSTEM	10	120	1P
20	RECEIVING SYSTEM	10	120	1P
21	RECEIVING SYSTEM	10	120	1P
22	RECEIVING SYSTEM	10	120	1P
23	RECEIVING SYSTEM	10	120	1P
24	RECEIVING SYSTEM	10	120	1P
25	RECEIVING SYSTEM	10	120	1P
26	RECEIVING SYSTEM	10	120	1P
27	RECEIVING SYSTEM	10	120	1P
28	RECEIVING SYSTEM	10	120	1P
29	RECEIVING SYSTEM	10	120	1P
30	RECEIVING SYSTEM	10	120	1P
31	RECEIVING SYSTEM	10	120	1P
32	RECEIVING SYSTEM	10	120	1P
33	RECEIVING SYSTEM	10	120	1P
34	RECEIVING SYSTEM	10	120	1P
35	RECEIVING SYSTEM	10	120	1P
36	RECEIVING SYSTEM	10	120	1P
37	RECEIVING SYSTEM	10	120	1P
38	RECEIVING SYSTEM	10	120	1P
39	RECEIVING SYSTEM	10	120	1P
40	RECEIVING SYSTEM	10	120	1P
41	RECEIVING SYSTEM	10	120	1P
42	RECEIVING SYSTEM	10	120	1P
43	RECEIVING SYSTEM	10	120	1P
44	RECEIVING SYSTEM	10	120	1P
45	RECEIVING SYSTEM	10	120	1P
46	RECEIVING SYSTEM	10	120	1P
47	RECEIVING SYSTEM	10	120	1P
48	RECEIVING SYSTEM	10	120	1P
49	RECEIVING SYSTEM	10	120	1P
50	RECEIVING SYSTEM	10	120	1P



- SYMBOL LEGEND**
- DUPLEX RECEPTACLE
  - DUPLEX RECEPTACLE
  - ISOLATED GROUND RECEPTACLE
  - SINGLE CEILING RECEPTACLE
  - DUPLEX CEILING RECEPTACLE
  - TELEPHONE JACK
  - TELEPHONE/COMPUTER JACK
  - SPEAKER (WALL UNIT) (LOCATION BY OWNER)
  - SPEAKER (CEILING) (LOCATION BY OWNER)
  - SMOKE DETECTOR
  - WALL SWITCH
  - 3-WAY WALL SWITCH
  - EXHAUST FAN
  - HOME RUN

**SOUND/LIGHTING SYSTEM SPECIFICATIONS**

1. DESCRIPTION:

A. PROVIDE A DESIGN BUILT SOUND/LIGHTING SYSTEM FOR NIGHTCLUB

AND ALSO ON THE EXISTING MAIN FLOOR ROOM "2" PUBLIC

ADDRESS SYSTEM SHOULD BE CAPABLE TO PRODUCE INTELLIGIBLE

UNDERSTANDING OF THE MESSAGE IN A TYPICAL OCCUPIED ROOM.

WITH PATTERNS, PROVIDE ALL LABOR MATERIAL EQUIPMENT TOOLS,

COMPONENTS & SERVICE NECESSARY FOR A MODERATE TO

REINSTALLATION OF A COMPLETE SOUND SYSTEM CONSISTING

OF COMPONENTS & SERVICE CONNECTED BY CABLE THROUGH

A RACKED SYSTEM OF INTERCONNECTING CONDUIT, BUT NOT

LIMITED TO THE FOLLOWING:

1. EQUIPMENT RACK WITH MOUNTING KIT
2. CASSETTE DECK
3. AMPLIFIER
4. PREAMP MODULE
5. COAX SPEAKER ASSEMBLY WITH GRILLE
6. STEREO SPEAKER ASSEMBLY WITH GRILLE
7. FILING RACKS WITH SUPPORT
8. THE ENCLOSURES
9. CONNECTIONS RELAYS, TRANSFORMERS
10. VOLUME CONTROL FOR SOUND SYSTEM/DANCE FLOOR
11. SELECTION SWITCH FOR SOUND SYSTEM/DANCE FLOOR
12. REMOTE VOLUME CONTROL IN BAR AREA FOR LOCAL CONTROL
13. SPEAKER OR NON-SPEAKING PLENUM CASE AS REQUIRED
14. PUBLIC ADDRESS MICROPHONE AT MAIN ENTRANCE HOST
15. STATION (FIELD ENTRY WITH DANCER)

B. RECEPTACLE ABOVE CEILING MAY BE OMITTED WHERE OPEN WIRING

IS ALLOWED BY CODE. HOWEVER CONDUIT SHALL BE INSTALLED

IN WALL TO +8 ABOVE CEILING & TERMINATED WITH BUSHED

ENDS.

**PROJECT INFORMATION**

**CLIENT:** PULSE ORLANDO  
1912 S. ORANGE AVENUE  
ORLANDO, FLORIDA

**ARCHITECTS - ENGINEERS - DESIGNERS:** AB & ASSOCIATES  
2403 HARBOR LANE  
SOMERSET, FLORIDA 32716  
(407) 467-5463

**DATE:** 02/12/70

**SCALE:** 1/4" = 1'-0"

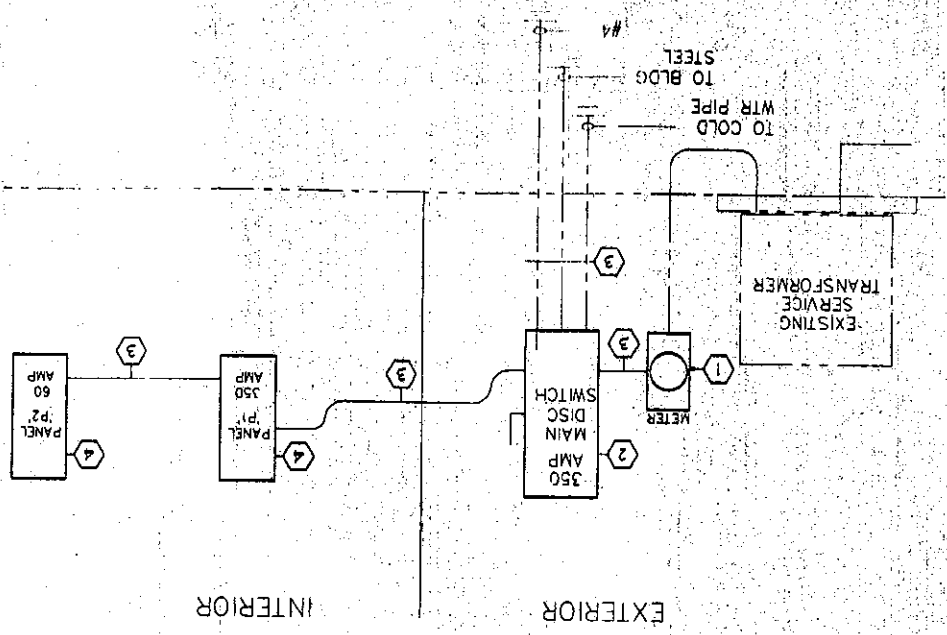
**PROJECT NO.:** 1912-01

**DATE:** 02/12/70

**BY:** [Signature]

Not Original

ELECTRICAL PANEL/RISER



1) ALL NEW 120V CIRCUIT WORK SHALL BE 20' CEILING  
 2) ALL NEW 120V CIRCUIT WORK OVER 20' SHALL BE 8' CEILING  
 3) ALL NEW 120V CIRCUIT WORK OVER 8' SHALL BE 4' CEILING  
 4) ALL NEW 120V CIRCUIT WORK OVER 4' SHALL BE 2' CEILING  
 5) ALL NEW 120V CIRCUIT WORK OVER 2' SHALL BE 1' CEILING  
 6) ALL NEW 120V CIRCUIT WORK OVER 1' SHALL BE 6" CEILING

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	120V 15A CIRCUIT BREAKER	1	EA	15.00	15.00
2	120V 20A CIRCUIT BREAKER	1	EA	20.00	20.00
3	120V 25A CIRCUIT BREAKER	1	EA	25.00	25.00
4	120V 30A CIRCUIT BREAKER	1	EA	30.00	30.00
5	120V 35A CIRCUIT BREAKER	1	EA	35.00	35.00
6	120V 40A CIRCUIT BREAKER	1	EA	40.00	40.00
7	120V 45A CIRCUIT BREAKER	1	EA	45.00	45.00
8	120V 50A CIRCUIT BREAKER	1	EA	50.00	50.00
9	120V 55A CIRCUIT BREAKER	1	EA	55.00	55.00
10	120V 60A CIRCUIT BREAKER	1	EA	60.00	60.00

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
11	120V 65A CIRCUIT BREAKER	1	EA	65.00	65.00
12	120V 70A CIRCUIT BREAKER	1	EA	70.00	70.00
13	120V 75A CIRCUIT BREAKER	1	EA	75.00	75.00
14	120V 80A CIRCUIT BREAKER	1	EA	80.00	80.00
15	120V 85A CIRCUIT BREAKER	1	EA	85.00	85.00
16	120V 90A CIRCUIT BREAKER	1	EA	90.00	90.00
17	120V 95A CIRCUIT BREAKER	1	EA	95.00	95.00
18	120V 100A CIRCUIT BREAKER	1	EA	100.00	100.00
19	120V 105A CIRCUIT BREAKER	1	EA	105.00	105.00
20	120V 110A CIRCUIT BREAKER	1	EA	110.00	110.00

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
21	120V 115A CIRCUIT BREAKER	1	EA	115.00	115.00
22	120V 120A CIRCUIT BREAKER	1	EA	120.00	120.00
23	120V 125A CIRCUIT BREAKER	1	EA	125.00	125.00
24	120V 130A CIRCUIT BREAKER	1	EA	130.00	130.00
25	120V 135A CIRCUIT BREAKER	1	EA	135.00	135.00
26	120V 140A CIRCUIT BREAKER	1	EA	140.00	140.00
27	120V 145A CIRCUIT BREAKER	1	EA	145.00	145.00
28	120V 150A CIRCUIT BREAKER	1	EA	150.00	150.00
29	120V 155A CIRCUIT BREAKER	1	EA	155.00	155.00
30	120V 160A CIRCUIT BREAKER	1	EA	160.00	160.00

- ELECTRICAL NOTES**
- 1) ALL NEW 120V CIRCUIT WORK OVER 20' SHALL BE 8' CEILING
  - 2) ALL NEW 120V CIRCUIT WORK OVER 8' SHALL BE 4' CEILING
  - 3) ALL NEW 120V CIRCUIT WORK OVER 4' SHALL BE 2' CEILING
  - 4) ALL NEW 120V CIRCUIT WORK OVER 2' SHALL BE 1' CEILING
  - 5) ALL NEW 120V CIRCUIT WORK OVER 1' SHALL BE 6" CEILING
  - 6) THE USE OF ANY PROCESS INVOLVING ABSORBERS OR PFC AND THE INSTALLATION OF ANY PRODUCT, INSTALLATION COMPONENT OR MATERIAL CONTAINING OR INCORPORATING ABSORBERS OR PFC IS PROHIBITED. THE REQUIREMENTS OF THIS SPECIFICATION FOR A COMPLETE AND PROPERLY OPERATING ELECTRICAL SYSTEM SHALL BE MET WITHOUT THE USE OF ABSORBERS OR PFC.
  - 7) VISIT THE EXISTING FACILITY AND COMPLETELY EXAMINE THOSE PORTIONS OF THE BUILDING AND SITE AFFECTED BY THIS WORK BEFORE SUBMITTING PROPOSALS. AS APPLICABLE TO THE EXISTING CONDITIONS AND DIFFICULTIES THAT WILL AFFECT THE EXECUTION OF THE WORK, SUBMISSION OF A PROPOSAL WILL BE CONSIDERED AS EVIDENCE THAT SUCH EVALUATION HAS BEEN MADE AND LATER CLAIMS FOR LABOR EQUIPMENT OR MATERIALS REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WILL NOT BE RECOGNIZED.
  - 8) CONTRACTOR SHALL NOTIFY HIS BID THE TRANSFORMER AND DISPOSAL OR RECYCLING OF ALL WASTE MATERIALS GENERATED BY THIS PROJECT IN ACCORDANCE WITH ALL RULES, REGULATIONS AND GUIDELINES APPLICABLE.
  - 9) CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 409.186.
  - 10) LAMP, BALLASTS AND OTHER MATERIALS SHALL BE TRANSPORTED AND DISPOSED OF IN ACCORDANCE WITH ALL DEP AND EPA GUIDELINES.
  - 11) THE CONTRACTOR SHALL PROVIDE WRITTEN CERTIFICATION THAT ALL MATERIALS WERE RECYCLED OR DISPOSED OF PROPERLY PER THE GUIDE LINE NOTED ABOVE.

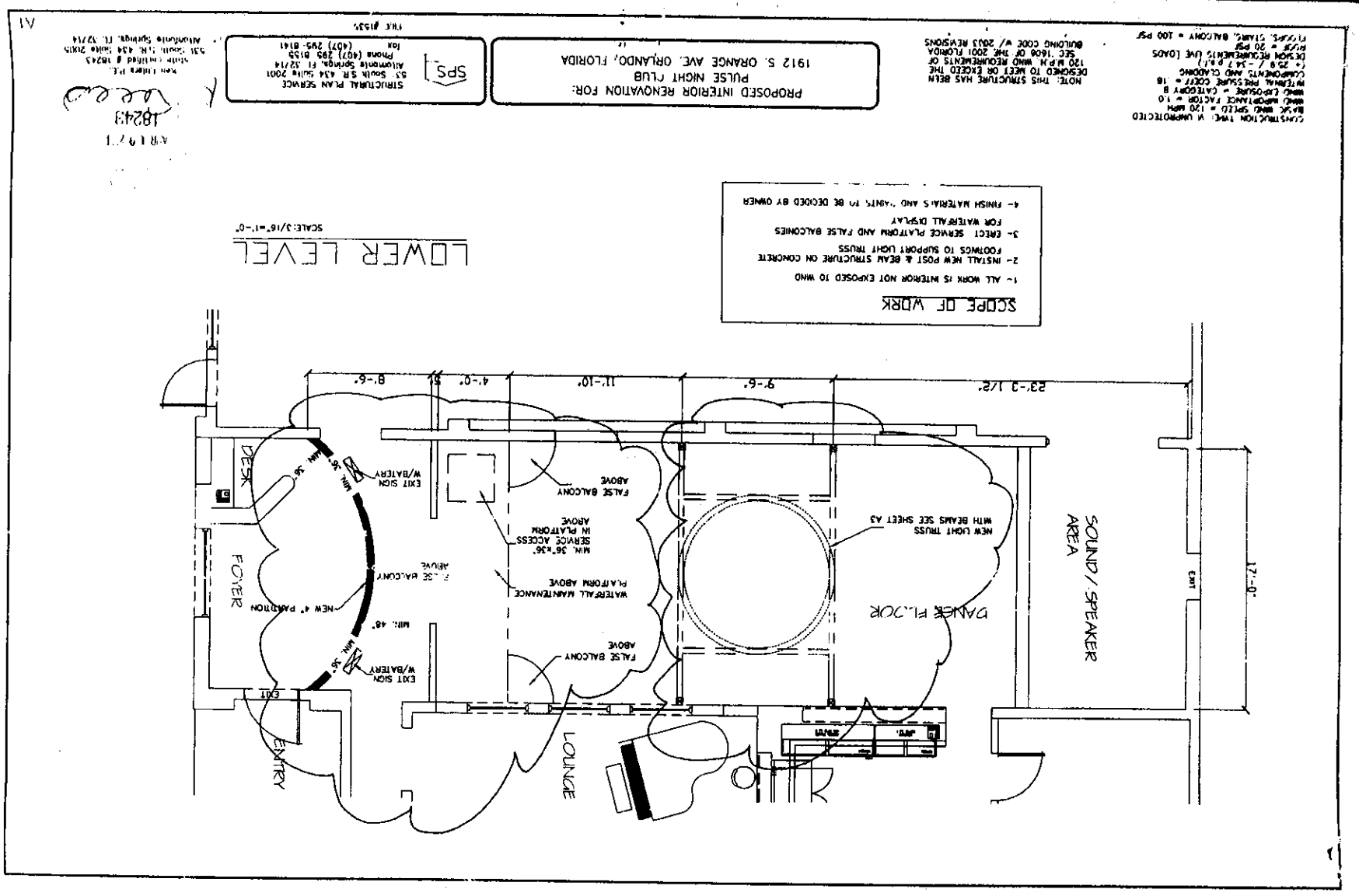
DATE: 11/20/03  
 CONTINUED

PULSE ORLANDO  
 1912 S. ORANGE AVENUE  
 FLOOR 2

ARCHITECTS - ENGINEERS - DESIGNERS  
**AB & ASSOCIATES**  
 2400 BARBOCK LANE  
 SORRENTO, FLORIDA 32776  
 (407) 467-5463  
 AND REGULAR COMMERCIAL DESIGN SERVICES

THIS DRAWING AND THE DESIGN THEREON IS THE PROPERTY OF PULSE ORLANDO. IT IS TO BE USED ONLY FOR THE PROJECT AND NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF PULSE ORLANDO. © 2003

Bob Diggins



**SCOPE OF WORK**

- 1- ALL WORK IS INTERIOR NOT EXPOSED TO WIND
- 2- INSTALL NEW POST & BEAM STRUCTURE ON CONCRETE FOOTINGS TO SUPPORT LIGHT TRUSS
- 3- ERECT SERVICE PLATFORM AND FALSE BALCONIES FOR WATERFL DISPLAY
- 4- FINISH MATERIALS AND FIXTURES TO BE DECIDED BY OWNER

**LOWER LEVEL**  
SCALE: 3/16"=1'-0"

PROPOSED INTERIOR RENOVATION FOR:  
PULSE NIGHT CLUB  
1912 S. ORANGE AVE. ORLANDO, FLORIDA

STRUCTURAL PLAN SERVICE  
S.P.S.  
515 SOUTH S.R. 434 SUITE 2001  
ALTOONA SPRING, FL 32714  
PHONE (407) 295-8155  
FAX (407) 295-8141

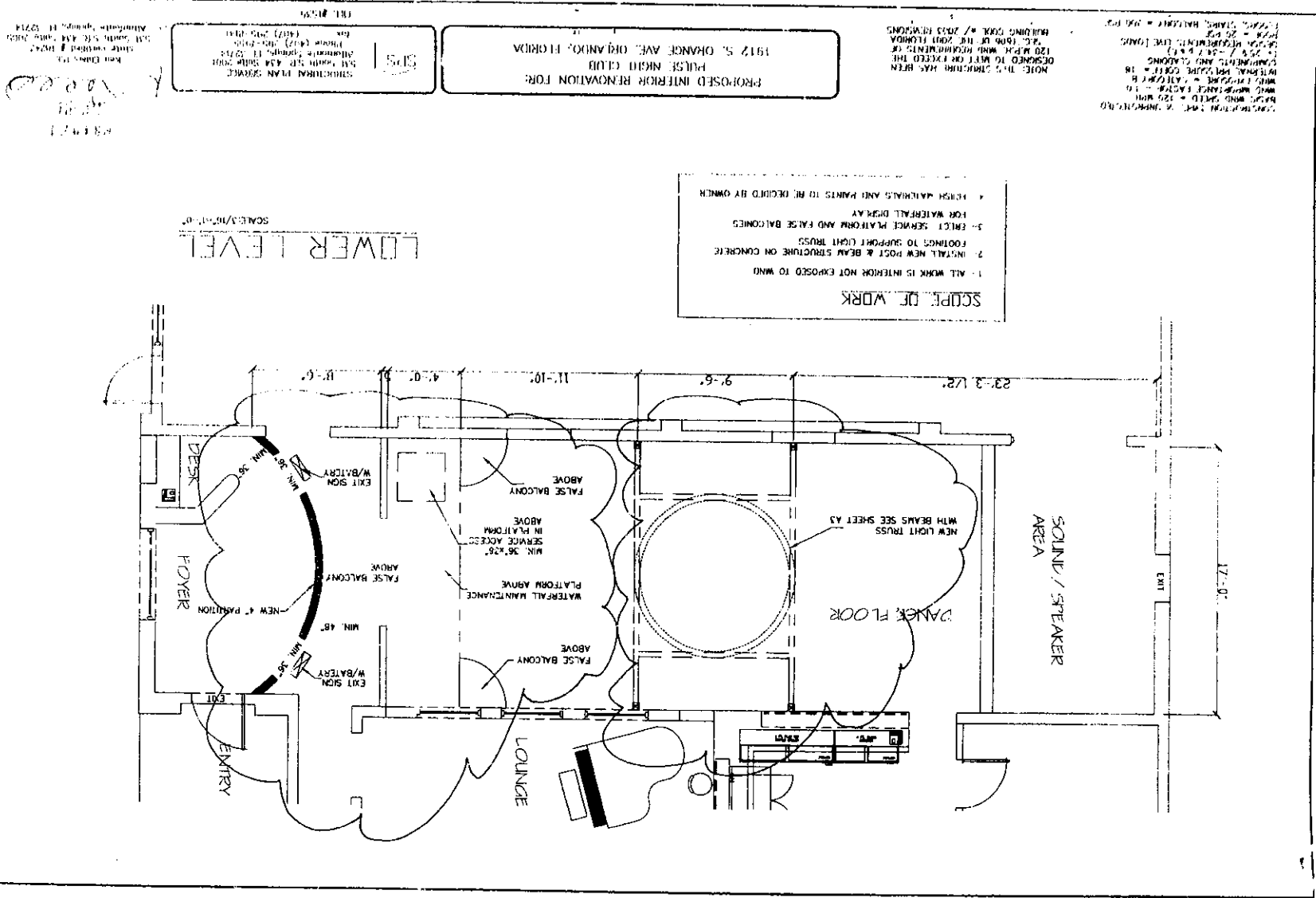
DATE: APR 19 2001  
18243  
10/19/01

NOTE: THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE 130 M.P.H. WIND REQUIREMENTS OF BUILDING CODE # 2003 REVISIONS

CONSTRUCTION TIME: UNPROTECTED  
WIND SPEED: 120 MPH  
WIND IMPORTANCE FACTOR: 1.0  
WIND EXPOSURE: CATEGORY B  
WIND DESIGN COEFF: 1.8  
WIND PRESSURE COEFFICIENTS: SEE SHEET A3  
CLIMATE: TYPICAL FLORIDA  
DESIGNED TO MEET OR EXCEED THE 130 M.P.H. WIND REQUIREMENTS OF BUILDING CODE # 2003 REVISIONS

1/1

Bob Dringer



**SCOPE OF WORK**

1. ALL WORK IS INTERIOR NOT EXPOSED TO WIND
2. INSTALL NEW POST & BEAM STRUCTURE ON CONCRETE FOOTINGS TO SUPPORT LIGHT TRUSS
3. ERECT SERVICE PLATFORM AND FALSE BALCONIES FOR WATERFALL DISPLAY
4. FRESH MATERIALS AND PAINTS TO BE DECIDED BY OWNER

LOWER LEVEL  
SCALE: 1/8" = 1'-0"

PROPOSED INTERIOR RENOVATION FOR:  
PULSE NIGHT CLUB  
1912 S. ORANGE AVE. ORLANDO, FLORIDA

STRUCTURAL PLAN SERVICE  
541 SOUTH ST. 434 SOUTH ST.  
ORLANDO, FLORIDA 32801  
(407) 251-1111

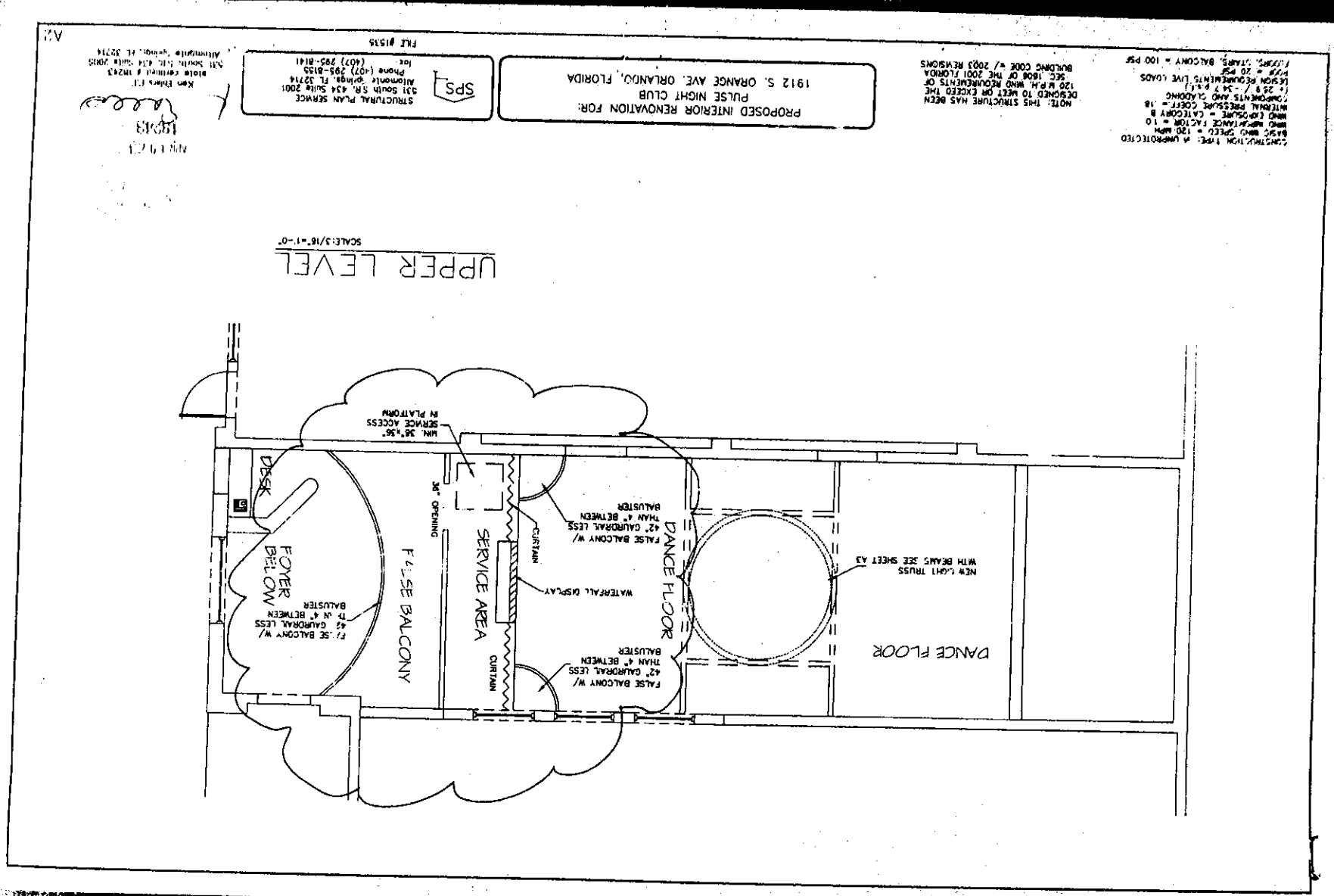
PREPARED BY:  
BOB DRINGER  
1912 S. ORANGE AVE. ORLANDO, FLORIDA 32801  
(407) 251-1111

DATE: 11/27/14

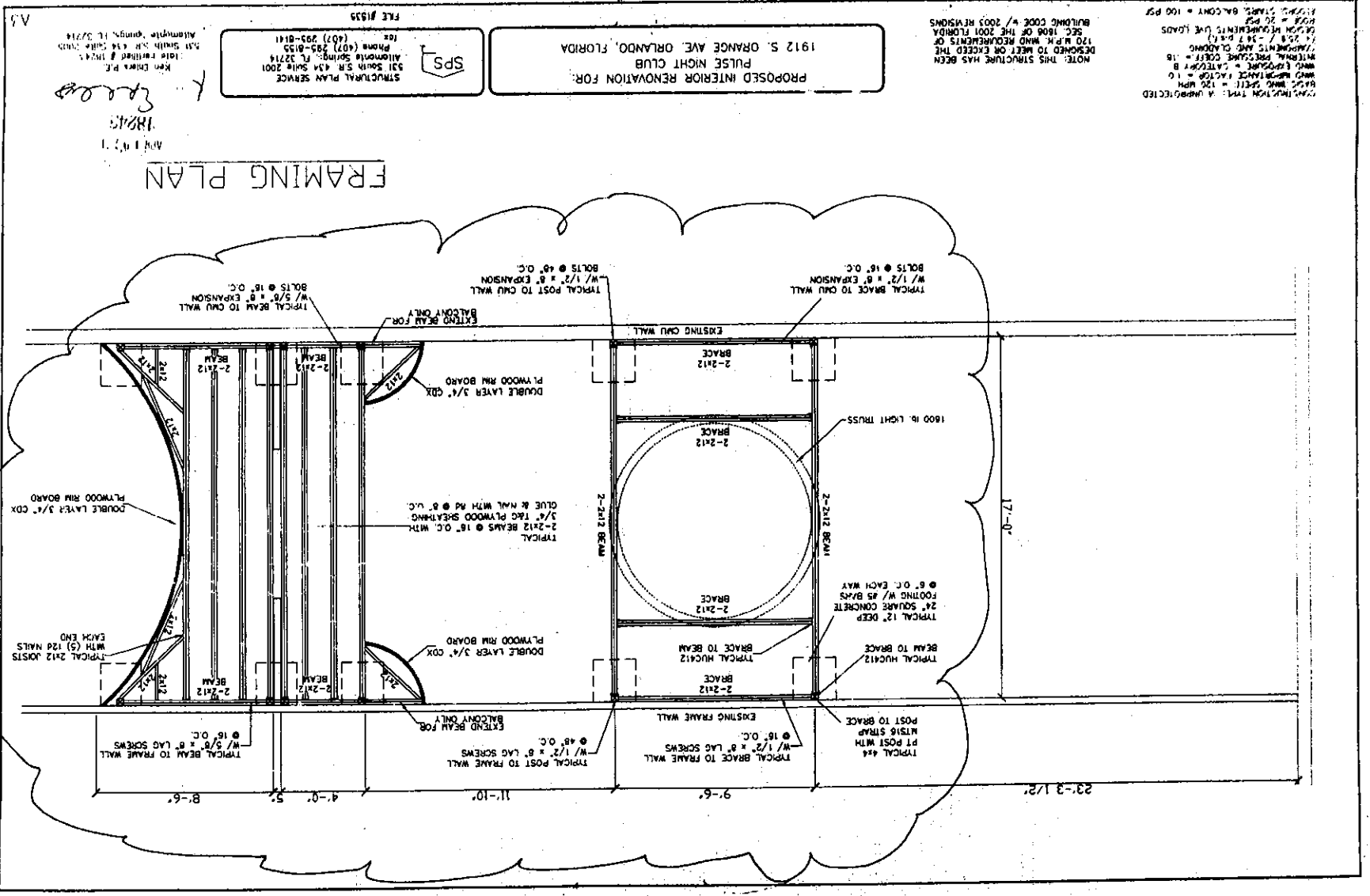
NOTES:  
1. THE STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE 120 MPH WIND REQUIREMENTS OF BUILDING CODE # 2003 FLORIDA # 2003 FLORIDA

CONCRETE FOOTING & FOUNDATION  
BASED ON 2003 FLORIDA BUILDING CODE # 2003 FLORIDA  
MIN. 18" DIA. CONCRETE FOOTING  
MIN. 18" DIA. CONCRETE FOUNDATION  
MIN. 18" DIA. CONCRETE FOUNDATION  
MIN. 18" DIA. CONCRETE FOUNDATION

Bob Dringer



Bad Original



*Bob Oringer*

A4

Ken Oringer P.E.  
1804 S.W. 15th Ave.  
Miami, Florida 33136  
(305) 351-1111

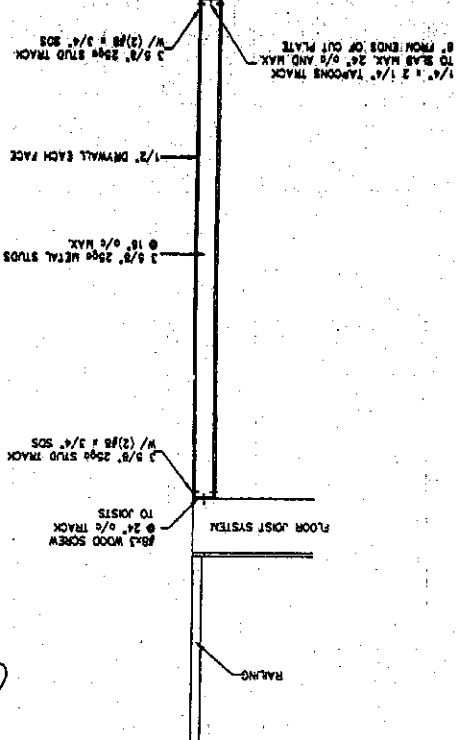
STRUCTURAL PLAN SERVICE  
531 South W. 44th Street  
Miami, Florida 33148  
(305) 351-1111

PROPOSED INTERIOR RENOVATION FOR:  
PULSE NIGHT CLUB  
1912 S. ORANGE AVE. ORLANDO, FLORIDA

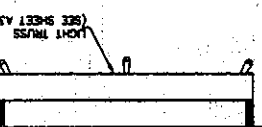
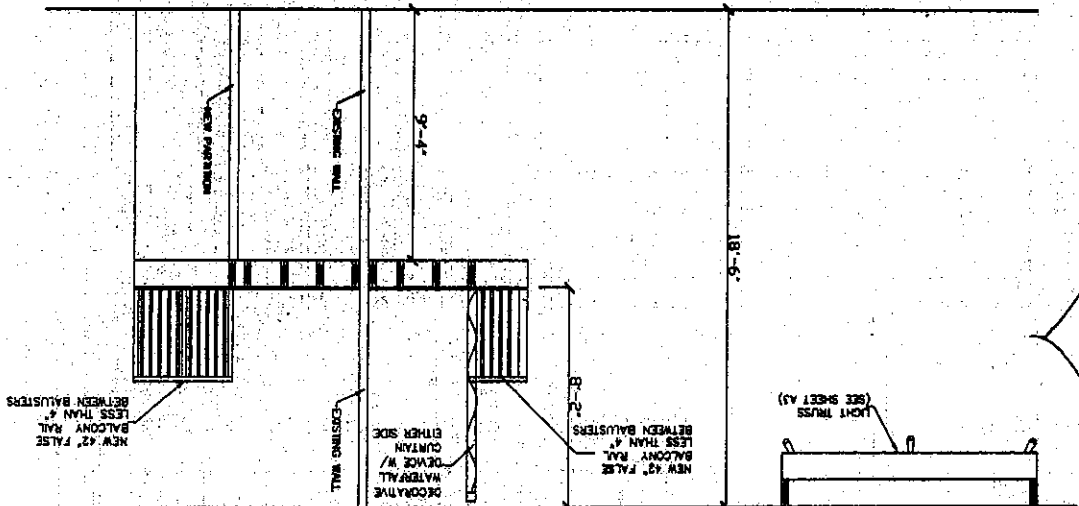
NOTE: THE STRUCTURE HAS BEEN  
DESIGNED TO BEAT OR EXCEED THE  
1990 IBC AND REQUIREMENTS OF  
SECTION 1607 OF THE 2001 FLORIDA  
BUILDING CODE (2001 REVISIONS)

CONSTRUCTION TYPE: II UNREINFORCED  
BASIC WIND SPEED: 120 MPH  
MINIMUM SURVIVAL FACTOR: 1.0  
WIND EXPOSURE: CATEGORY II  
INTERIOR PRESSURE COEFFICIENT: 0.18  
DESIGN WIND SPEED: 130 MPH  
DESIGN WIND DIRECTION: 0°  
DESIGN WIND PERIOD: 30 SECS  
DESIGN WIND DIRECTION: 0°  
DESIGN WIND PERIOD: 30 SECS  
DESIGN WIND DIRECTION: 0°  
DESIGN WIND PERIOD: 30 SECS

TYP. WALL SECTION



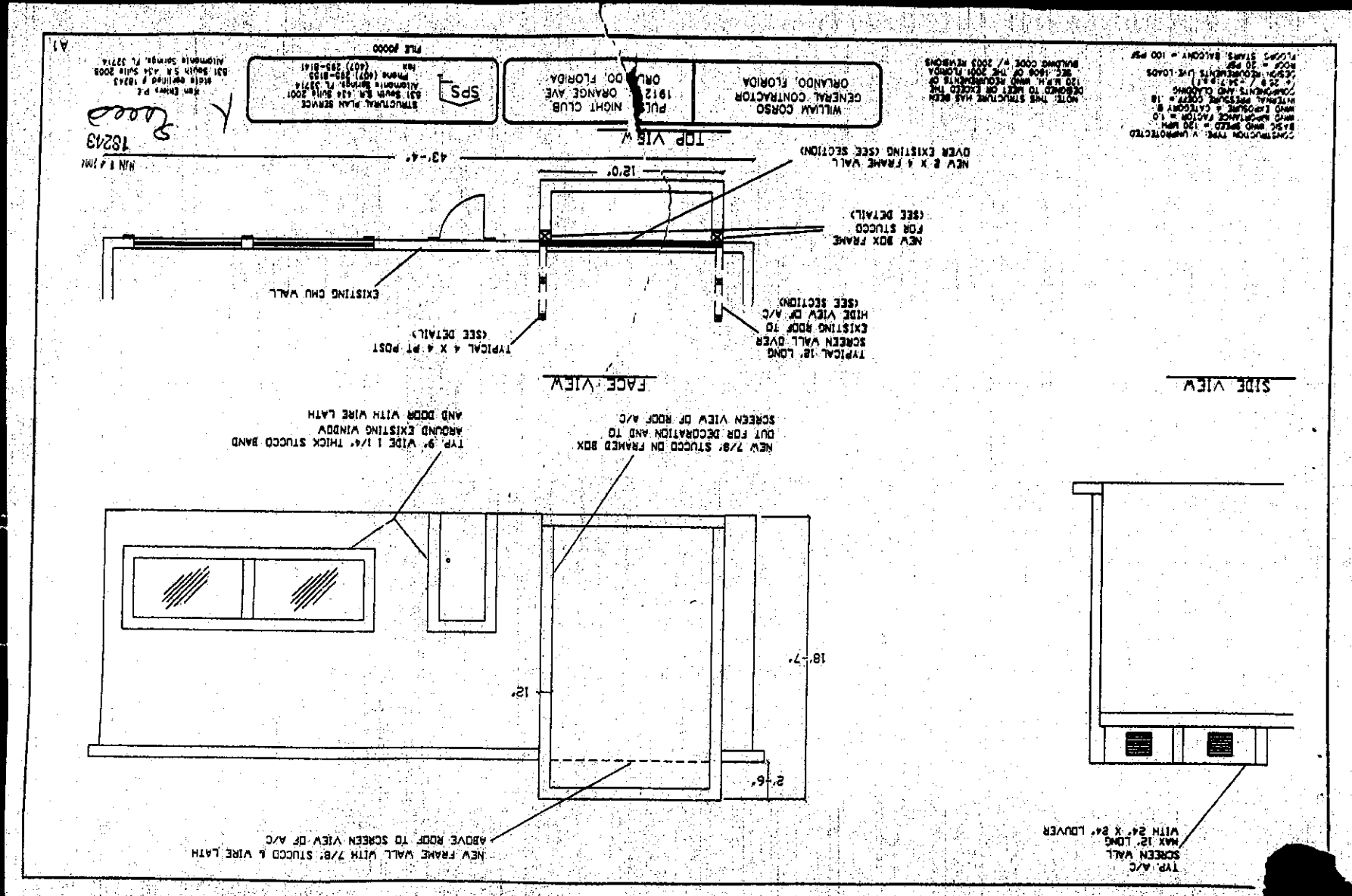
SECTION NEW



SCALE: 1/2"=1'-0"

SCALE: 1/4"=1'-0"

But Original





*But original*

A2

18213  
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 11/11/00

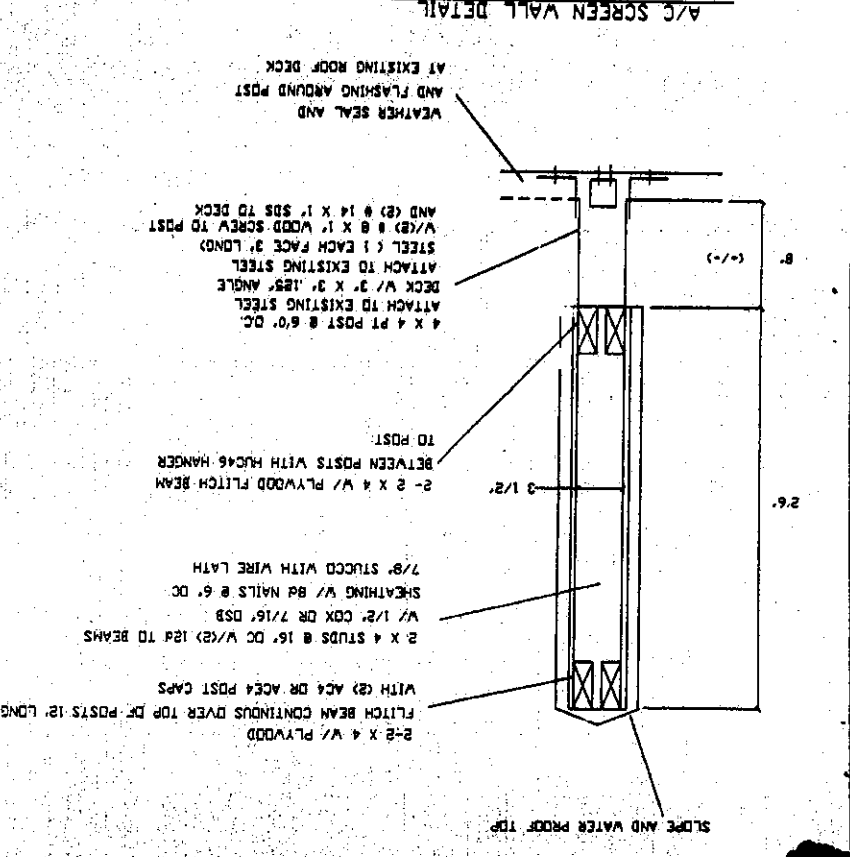
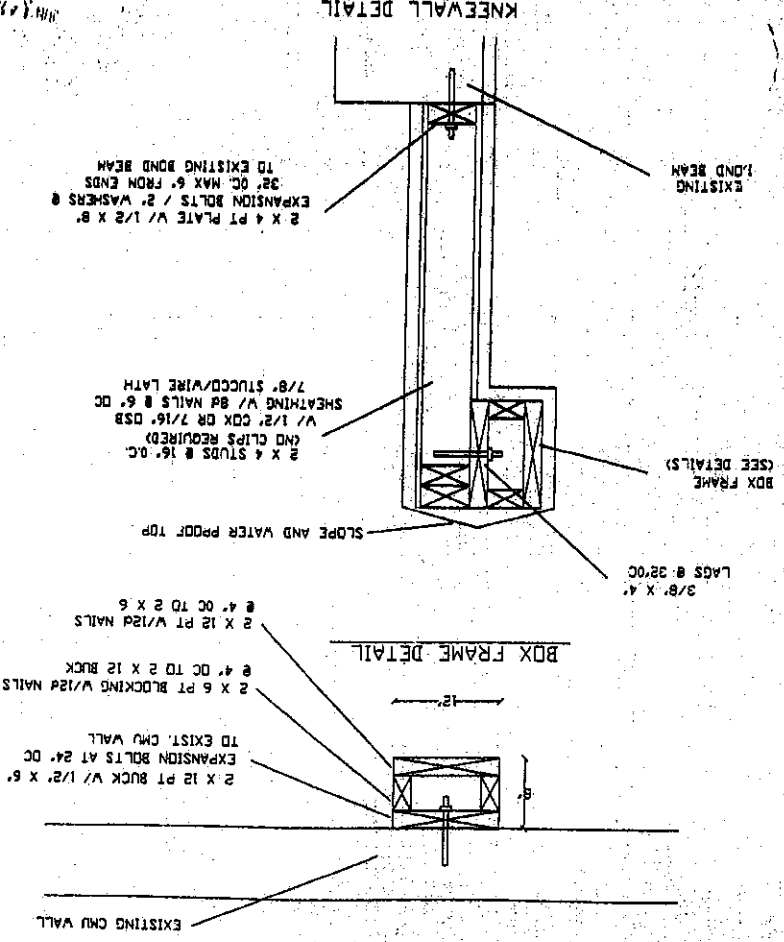
SPS  
 STRUCTURAL PLAN SERVICE  
 831 SOUTH S.W. 43rd AVENUE  
 MIAMI SPRING, FL 33134  
 (305) 889-8181

PULSE NIGHT CLUB  
 1912 S. ORANGE AVE.  
 ORLANDO, FLORIDA

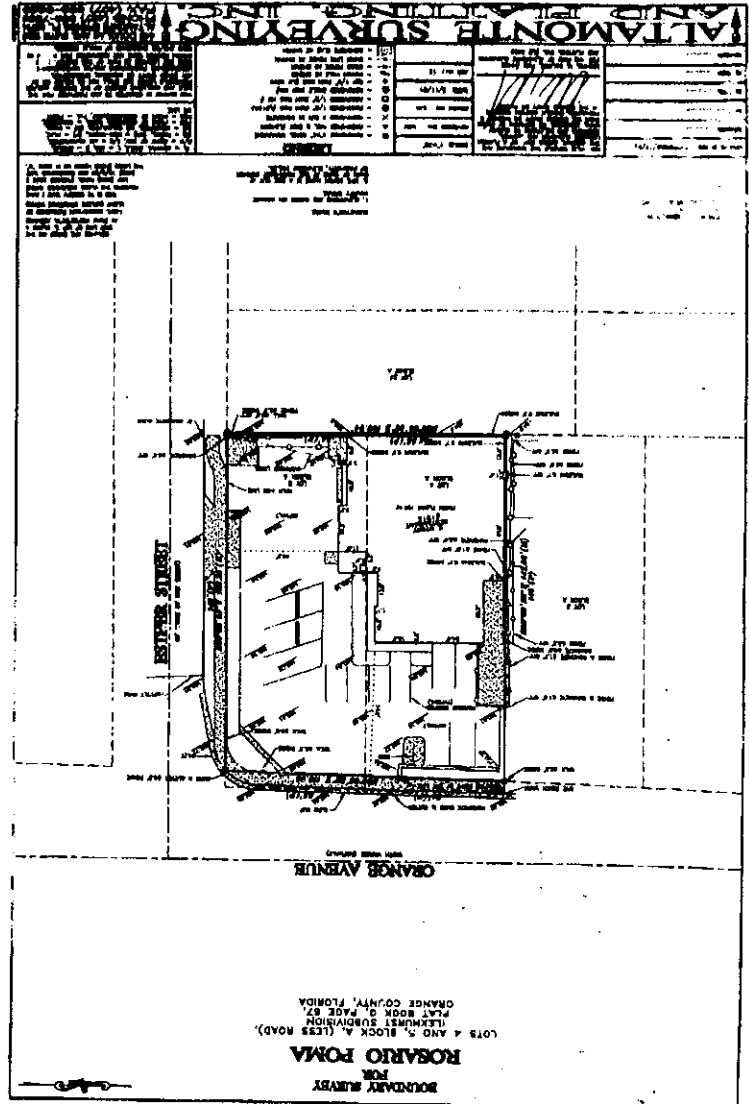
WILLIAM CORSO  
 GENERAL CONTRACTOR  
 ORLANDO, FLORIDA

NOTE: THIS STRUCTURE HAS BEEN  
 DESIGNED TO BEAT OR EXCEED THE  
 2003 IBC CODES FOR THE 2001 FLORIDA  
 BUILDING CODE W/ 2003 REVISIONS

CONSTRUCTION TYPE: UNREINFORCED  
 MASONRY WALL WITH  
 REINFORCED  
 CONCRETE  
 FOUNDATION  
 AND  
 CONCRETE  
 FLOORING  
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 CEILING  
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 THE  
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 OF  
 REVENUE  
 AND  
 FINANCE  
 AND  
 THE  
 STATE  
 DEPARTMENT  
 OF  
 TRANSPORTATION  
 AND  
 CONSTRUCTION



Bad original



BOUNDARY SURVEY  
FOR  
ROSARIO POMA  
LOTS 4 AND 5, BLOCK A (LESS ROAD),  
PLAT BOOK 5, PAGE 89  
ORANGE COUNTY, FLORIDA

May 13, 2004

City of Orlando  
400 South Orange Ave  
Orlando, FL 32801

Rosario Poma  
1912 S. Orange Ave.  
Orlando, FL 32801

Re: 1912 S. Orange Ave

Dear Mr. Rhodes,

*facing S. Orange Avenue*

I plan to submit the revisions that we discussed in our meeting today.

- 1. ~~15%~~ *The front elevation shall be described* of front of building will be transparent windows. *with 15% transparency glass block and highly reflective glass shall not be permitted.*
- 2. The A/C units on the roof ~~will~~ *shall* be screened, so they will not be visible from the street, *in a manner acceptable to the City.*
- 3. ~~Show~~ *The floor plan shall be amended to indicate location of food preparation and/or storage areas.* Staging area for food equipment.
- 4. Revision of the dance floor
- 5. ~~Removal of light truss and installing stage lighting shall be removed; however, lighting for the stage area shall be permitted.~~

*Floor plan shall be revised to remove the dance floor and amended to indicate seating and table layout for the area previously shown as a dance floor.*

I plan to have the revisions submitted no later than seven days, preferably sooner, from the date of this letter. I will be doing this in good faith with the expectations that as we discussed you will lift the stop work order today so I may begin drywalling, closing the walls on the interior, exterior work which includes the already *previously approved by* DOT plans and continue on with the project at a very rapid pace. I hope you will work with us diligently so we can continue with the opening, understand we are employing many people who are counting on us.

Sincerely,  
  
Rosario Poma

*u. All exterior commercial signage shall receive permits and approvals with copy approved by the Z.O. for a determination of consistency with the approved use of a martinis bar/restaurant.*

cc. Tim Johnson AIA, City Architect  
Dean Grandin AICP, Planning Director  
Donny Pittman Inspection Services Manager

May 13, 2004

City of Orlando  
400 South Orange Ave  
Orlando, Fl 32801

Rosario Poma  
1912 S. Orange Ave.  
Orlando, Fl 32801

Re: 1912 S. Orange Ave

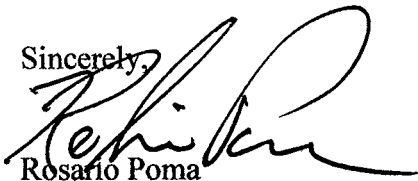
Dear Mr. Rhodes,

I plan to submit the revisions that we discussed in our meeting today.

1. 15% of front of building will be transparent windows.
2. The A/C units on the roof will be screened, so they will not be visible from the street.
3. Show staging area for food equipment
4. Revision of the dance floor
5. Removal of light truss and installing stage lighting

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Sincerely,



Rosario Poma

cc. Tim Johnson AIA, City Architect  
Dean Grandin AICP, Planning Director  
Donny Pittman Inspection Services Manager

May 13, 2004

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Orlando, Fl 32801

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3. Show staging area for food equipment
4. Revision of the dance floor
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Sincerely,



Rosario Poma

cc. Tim Johnson AIA, City Architect  
Dean Grandin AICP, Planning Director  
Donny Pittman Inspection Services Manager

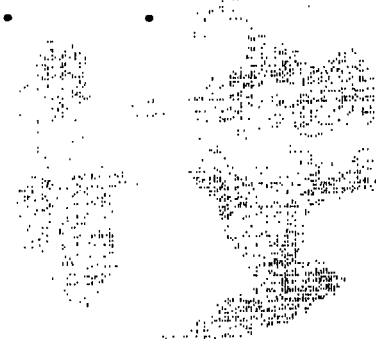
facsimile transmittal



To: Tim Johnson Fax: 407-246-2882  
 From: Rosario Perma Date: 7/21/04  
 Re: Pulse Pages: Including cover: 2

Company fax # 407-396-6210

Urgent     For Review     Please Comment     Please Reply     Please Recycle



*FYI*  
*I'M RESPONDING TODAY!*  
*R.J.*

July 20th, 2004

Tim Johnson  
City of Orlando  
400 S. Orange Ave  
Orlando, FL 32802

Rosario Poma  
5795 W. Hwy 192  
Kissimmee, Fl 34746

Dear Mr. Johnson,

Please review the enclosed letter that I have received from Robert Cramer. We are in contract with Mr. Cramer for use of his property.

On June 14th we had a meeting with yourself, Mr. Levi and I, one of the issues that were addressed at this meeting was parking. Mr. Levi asked if I had rented any parking around Pulse because my parking lot was so small and we didn't want any issues with parking. Now Mr. Cramer is getting this letter saying it's against Code to park there. Mr. Levi said it was a great idea to find property around Pulse so nobody would be inconvenienced and the property was kept clean and we weren't disturbing our neighbors.

It seems like every corner I turn there is another issue. Tim, please look into this for me. I just want to run my business make my employees and guests happy and this is what I get in return.

I look forward to hearing from you soon.

Regards,

*Rosario Poma*  
Rosario Poma



# CITY OF ORLANDO

May 12, 2004

Mr. Rosario Poma  
5795 W. Highway 192  
Kissimmee, FL 34746

Re: Property located at 1912 S. Orange Avenue

Dear Mr. Poma:

Following our meeting here at City Hall on Monday May 10, 2004, I would like to take this opportunity to clarify our position on the existing conditional use approval and plans submitted for the above-mentioned property.

On July 15, 2003, Municipal Planning Board recommended approval of a Conditional Use Permit to allow the former Dante's Italian Restaurant at the above address to be converted to a "Martini Bar/Restaurant" receiving less than 51 percent of its revenues from food and non-alcoholic beverages within 1,000 feet of a church or school. The requirement for conditional use approval was triggered by the proximity of the subject property to the Christ Church and School at 2200 S. Orange Avenue pursuant to Section 58.710 (Distance from Church and Schools, LDC). The Municipal Planning Board approval was based on the floor plan submitted by the applicant that showed a full kitchen, a small wine bar and extensive dining areas, and a sample menu that included sandwiches, brunch and dinner items as well as beer, wine and cocktails. By approving the minutes of the Municipal Planning Board meeting, City Council granted final approval of the Conditional Use Permit on August 11, 2003.

Conditional use approval is required where a proposed use may or may not be appropriate in a particular zoning district depending on site-specific conditions. Where deemed appropriate, the use may be subject to conditions that limit the manner in which the use is conducted, and govern appearance of the structure, signage and other on-site improvements.

The most recent building plans submitted to Permitting suggest a significant change in use to that approved by Municipal Planning Board. The floor plans now include a dance floor, stage and nightclub-type lighting and sound system, and do not show dining areas or significant kitchen facilities.

While the "Martini-Bar/Restaurant" use is considered an Eating and Drinking Establishment for purposes of establishing use, a nightclub or dance hall is considered Indoor Recreation. Except for the fact that the subject property is within 1,000 of a church or school an eating and drinking use is a permitted use in the AC-N/T zoning district. By contrast, Indoor Recreation requires



conditional use approval in the AC-N/T zoning district reflecting the potential increased impact of the use, especially in proximity to residential neighborhoods.

Please be aware that the use of the property must be consistent with, and meet the conditions of, the existing conditional use approval of the Municipal Planning Board. If the proposed use is not consistent with the existing conditional use approval, it would be incumbent on the Planning Official to initiate reconsideration of the Conditional Use Permit before the Municipal Planning Board; this would provide the Board with an opportunity to evaluate the appropriateness of the proposed new use at this location and either accept the change of use, accept the change of use with additional conditions, or reject the change of use. As an alternate process, and perhaps preferable to you, would be for you to initiate a new application for Conditional Use Permit for a nightclub (Indoor Recreation) use which would stand alone, separate and apart from your existing approved Conditional Use Permit.

As mentioned at our meeting, your project must also meet Traditional City requirements – specifically, the ground floor building wall facing the street must contain a minimum of 15 percent transparent materials, located between 3 and 7 feet measured from the ground level; furthermore, at least one public entrance must be oriented toward the street. The air conditioning system on the roof must also be screened from view. These are design standards in Activity Center districts per Section 62.619. Building Orientation, LDC.

Your cooperation and participation in addressing these issues is welcome and encouraged. Please continue to work with Tim Johnson as the principal contact person on this project as we move forward to a satisfactory conclusion for all parties concerned.

Sincerely,



Dean Grandin, AICP  
Planning Director

cc. Mike Haynes AICP, Chief Planner, City Planning Division  
Tanja Gerhartz, AICP, Deputy Director, Economic Development Department  
Mike Rhodes, Permitting & Code Enforcement Division Manager  
Tom Hite, Building Official  
✓ Tim Johnson AIA, City Architect

May 13, 2004

Mr. Michael Rhodes, Manager  
Permitting & Code Enforcement Division  
City of Orlando  
400 S. Orange Ave  
Orlando, FL 32802

RE: 1912 S. Orange Ave., Orlando, FL 32801

Dear Mr. Rhodes:

This letter is to advise you that I plan to submit revisions that we discussed in our meeting today for the martini bar/restaurant project at the above referenced property. These revisions are as follows:

1. Revised elevation plans shall be submitted for the front of the building facing South Orange Avenue, with 15% transparency (it is understood that glass block and reflection glass are not permitted), in a manner acceptable to the City Architect.
2. Plans for screening the A/C units on the roof (so as not to be visible from the street) shall be submitted, in a manner acceptable to the City Architect.
3. The floor plan shall be revised to indicate the location of food preparation and/or storage areas, including areas for warming and cooling of all foods.
4. The floor plan shall be revised to remove the dance floor and indicate an acceptable seating and table layout in the area previously shown as the dance floor.
5. The light truss over what was to be the dance floor shall be removed; however, a truss for lighting for the stage shall be permitted.

In addition to the above, it is understood that the exterior commercial sign for this business will receive necessary permits and have copy approved by the Zoning Official for a determination of consistency with the approved use (a martini bar/restaurant).

I plan to have these revisions submitted no later than seven days, preferably sooner, from the date of this letter. I will be doing this in good faith with the expectations that, as we discussed, you will lift the stop work order today so I may begin dry walling, closing the walls on the interior, exterior work with includes the parking area already approved by DOT plans and continue on with the project at a very rapid pace. I also expect that you will review and approve the revisions you have requested without delay and I hope you will work with us diligently so we can continue with the opening, understanding that we are employing many people who are counting on us.

Sincerely,

  
Rosario Poma

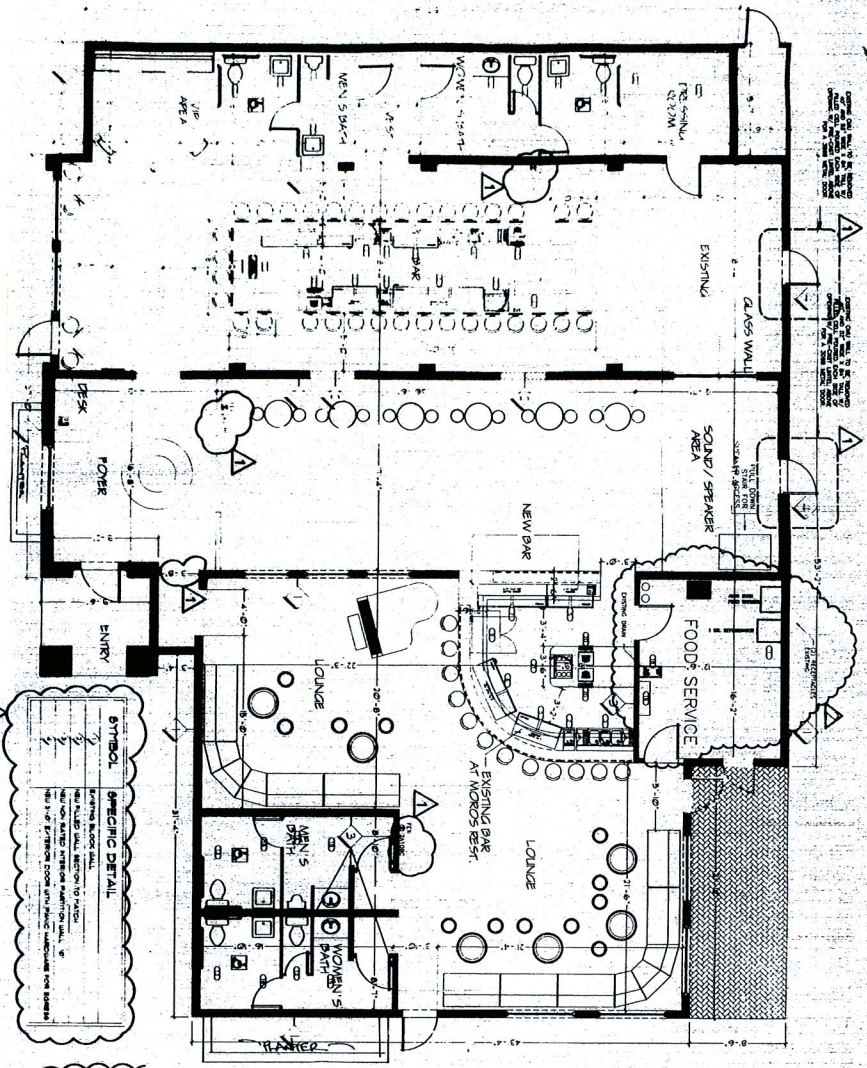
c/ Tim Johnson, City Architect  
Dean Grandin, Planning Director  
Donny Pittman, Inspection Services Manager

*Juan Moris*



**Bas original**

ARCHITECTURAL FLOOR PLAN



SYMBOL	SPECIFIC DETAIL
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**NOTE:**  
ALL EXIT DOORS SHALL BE EQUIPPED WITH PANDA HARDWARE AS STATED IN NFPA 72.1.7.  
**NOTE:** OCCUPANCY LOAD SIGN MUST BE POSTED IN EACH ASSEMBLY MAXIMUM LOAD IS 75 PERSONS

EQUIPMENT LIST	
1	10' x 10' x 8' H. STAINLESS STEEL SINK
2	10' x 10' x 8' H. STAINLESS STEEL SINK
3	10' x 10' x 8' H. STAINLESS STEEL SINK
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50	10' x 10' x 8' H. STAINLESS STEEL SINK

**PULSE ORLANDO**  
1912 S. ORANGE AVENUE

**ARCHITECTS ENGINEER DESIGNER**  
**AB & ASSOCIATES**  
2443 HARBECK LANE  
SORRENTO, FLORIDA 32776

THIS DRAWING AND THE CONTENT THEREON IS THE PROPERTY OF AB & ASSOCIATES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AB & ASSOCIATES. NOT VALID FOR USE UNLESS SEAL IS AFFIXED.

*[Signature]*  
DATE: 11/11/01



06501

Occupancy ID: 06501  
Location: 1912 S ORANGE AVE  
City/State: ORLANDO, FL

Business Name: PULSE  
Business Phone: (407)649-3888  
Station No: Station 05 Occupancy: Assembly

Contact Name: JUAN MILLER  
Pty Mailing Address: Occupant 1 1912 S ORANGE AVE ORLANDO, FL 32801  
Day Time Phone: (407)649-3888  
After Hours Phone: (407)595-1432

Activities: INSP-Exit Check F/U Inspection  
Assigned to: BLAHA, Thomas  
Assignment Date: 04/26/2010  
Schedule Date: 05/26/2010

THIS SURVEY IS PERFORMED BY THE CITY OF ORLANDO FIRE DEPARTMENT IN AN EFFORT TO PREVENT LOSS OF LIFE OR PROPERTY. THIS REPORT ADVISES YOU OF FIRE AND/OR LIFE SAFETY HAZARDS WHICH REQUIRE YOUR IMMEDIATE ATTENTION. EACH OF THE HAZARD(S) INDICATED HEREIN IS IN VIOLATION OF THE ORLANDO FIRE PREVENTION CODE. FOR FURTHER INFORMATION PLEASE CONTACT THE FIRE PREVENTION OFFICE AT 407-246-2386.

- Access: Address visible, Fire protection equipment, FDC connection, Gate optical detector, Hydrant access, Key box (verified), maintain fire lanes, Provide exit sign(s), Remove obstruction aisles/exit way, Remove storage under stairs, Remove unapproved locks/hardware, Vertical openings not protected, Heating: HVAC inadequate, Provide/maintain proper clearance around vents/exhaust/water heater, Provide Records for all installed: Fire protection equipment, Service/Maintain/Test/Tag: Detectors, Fire Alarm, Fire Extinguisher, Fire Pump, Generator, Hydrant(s)/painted, Hood System, Sprinklers, Standpipe/Hoses, Electrical: Circuit identification, Covers/blanks/function box missing, Defective equipment/wiring, Door labeled, Improper breakers/fuses/locks, Improper use/placement of extension cords/overloaded circuit, Panel accessibility, False Fire Alarm: 1-3 \$00.00, 4-6 \$100.00, 7+ \$200.00, Fire Extinguishers: Conspicuously located, Not accessible, Fire Protection: Missing detector(s), No sprinkler protection under stairs, No supervision, Provide 18" clearance, Provide spare heads/wrench, Sprinkler head(s) painted/corroded/damaged/ escutcheon plates missing, Sprinkler impairment, Flammable Liquids: Improper use/storage/dispensing, Improper container/provide cabinet, MSDS sheets needed, Exit: Door(s) inoperable, Emergency/Exit sign(s) inoperable, Exits not adequately enclosed, Exits not properly arranged, Improper door swing, Keep fire doors closed, Maintain self-closers, Overcrowding, Provide approved door assembly, Provide/maintain rated corridor, Permit Issued: 18A/Tent, Fireworks/Pyro/Sp. Effects, Flam./Comb. Liquids, Hazardous Material, Temp. Assembly, Open Burning, Permit Required: Provide permit for work being done, Signage Required: Fire Lane, "No Smoking", Occupant Load, Provide 704 Placard, Stair numbering, Storage: Disorderly, Too high, Other: CEB action required, Referral to Permitting Services, Unable to contact, Miscellaneous: Clean dryer vents, Housekeeping issues, Illegal burning, Interior finish inadequate, Provide fuel shut off, Remove BBQ grill, Remove rubbish/ waste/trash or weeds from building, Pre Fire Plan: Conducted/Reviewed/Needed

Remarks: INSTALL SPRINKLER SYSTEM  
TEMP OCC. LOAD to 300 PER FIRE MARSHAL

Customer Name (Print): Juan Miller, Signature: [Signature], Date: 04-30-2010  
Company Officer Name (Print): Tom Blaha, Signature: [Signature], Date and Time: 6:20-2010  
Reluspection Date: [Blank]

\* From R. PONA 2010 - RE FIRE ALARM \*



Occupancy ID: 06501  
Name of Business: PULSE

\*\*\* Open Violations \*\*\*

Description:  
EC002 Occupant Load - Posting

Found Date:  
01/22/2010

Code Requirement:  
Provide signs for maximum occupant load.

Code Section:  
CITY FIRE CODE, 24.24 (b) (1)

Comments:  
MUST MAINTAIN ACCURATE OCCUPANCY COUNT AT ALL TIMES, UTILIZING HANDHELD CLICKERS

Description:  
Z3 False Fire Alarm 7 or more

Found Date:  
03/10/2010

Code Requirement:  
A false fire alarm has occurred at this location within the last twelve months. The fee is \$200.00. Please make the appropriate repairs to prevent a reoccurrence.

Code Section:  
CITY FIRE CODE, 41.06

Comments:  
#7 3-10-10 9138 smoke from machine activated alarm Inv 101448

#8 4-8-10 13168 malfunction Inv 102627

Description:  
BUILDING PERMITS

Found Date:  
04/30/2010

Code Requirement:  
1.3.6.3 Repairs, renovations, alterations, reconstruction, change of occupancy, and additions to buildings shall conform with NFPA 101, Life Safety Code, and the adopted building code of the jurisdiction.

Code Section:  
CITY FIRE CODE, 24.04b3

Comments:

Description:  
OCC. LOAD POSTING

Found Date:  
04/30/2010

Code Requirement:  
Signs approved by the AHJ stating the maximum occupant content shall be conspicuously posted and maintained by the owner of the building... it shall be unlawful to remove or deface such notice

Code Section:  
CITY FIRE CODE, 24.24(b)(1)

Comments:  
OCCUPANT LOAD SET @ 300 PERSONS PER FIRE MARSHAL AS OF 4-30-2010  
UNTIL SPRINKLER SYSTEM IS INSTALLED

Description:  
SUPPRESSION SYSTEM REQUIRED

Found Date:  
04/30/2010

Code Requirement:  
sprinkler system required in accordance with this code, NFPA 1, and NFPA 101

Code Section:  
CITY FIRE CODE, 24.27

Comments:



# CITY OF ORLANDO

## Case Activity Listing

Case #: BLD2010-00569

BLP  
Firm

6/14/2016  
9:28:39AM

Activity	Description	Date 1	Date 2	Date 3	Hold	Disp	Assigned To	Done By	Updated By	Notes
BLDI0600	Final Insp	7/12/2010	7/13/2010	7/13/2010	HwO	APPR	BSM	BSM	7/13/2010	407-725-9630 - Rosario STI
BLDM200	Freeze Case			2/1/2011	None	DONE		SYS	2/1/2011	Case frozen by System procedure (iss_finaled_prc).
BLDB0410	Review by Zoning Official	2/10/2010	2/17/2010	2/10/2010	Hold	DONE		TLJ	2/10/2010	Activity added by System Trigger (case_bid_at_trg), Existence of associated ABN, ZON, MPL or CUP Case. Minor interior work that is not visual- rotten wood and repairing roof leak/TLJ
BLDB0030	Permit Issuance Hold	2/10/2010	3/3/2010	2/10/2010	Hold	DONE		MLR	2/10/2010	
BLDA0010	Application Received			2/10/2010	None			MLR	2/10/2010	
BLDB0260	Review by Electrical	2/10/2010	2/17/2010	2/10/2010	Hold	DONE		MLR	2/10/2010	
BLDB0210	Review by Building(B)	2/10/2010	2/17/2010	2/10/2010	Hold	APPR	MHG	MHG	2/10/2010	
BLDH0025	(F) Print Billing Summary			2/10/2010	None	DONE		MLR	2/10/2010	
BLDA0016	(F) Print Plan Labels			2/10/2010	None	DONE		MLR	2/10/2010	
BLDH0075	Check for Holds			2/10/2010	None	DONE		MLR	2/10/2010	



# CITY OF ORLANDO

## Case Activity Listing

Case #: BLD2010-00569

6/14/2016  
9:28:40AM

Activity	Description	Date 1	Date 2	Date 3	Hold	Disp	Assigned		Dome	Updated		Notes
							To	By		By		
BLDI0090	Inspection Hold	2/10/2010		7/13/2010	Hold	APPR	BSM	BSM	BSM	7/13/2010	STI	
BLDB0820	Notice of Commencement Reqd	2/10/2010		7/12/2010	None	DONE		SLB2	SLB2	7/12/2010	SLB2	na
BLDH0100	(F) Issue BLD Permit			2/10/2010	None	DONE		MLR	MLR	2/10/2010	MLR	
BLDH0145	(F) Print Inspection Record			2/10/2010	None	DONE		MLR	MLR	2/10/2010	MLR	
BLDA0090	Misc. Activity			2/10/2010	None	DONE		MLR	MLR	2/10/2010	MLR	Rosario Poma picked up plans/permits
BLDI0150	Fire Final Insp	7/12/2010	7/13/2010	7/13/2010	HwO	APPR	DLA	DLA	DLA	7/14/2010	DLA	407-725-9630 - Rosario
BLDA0070	Case Finald			2/1/2011	None	DONE		SYS	SYS	2/1/2011	SYS	Case finald by System procedure (iss_finald_prc).
BLDB0760	Review by Urban Design	2/10/2010	2/17/2010	2/10/2010	Hold	DONE		TLJ	TLJ	2/10/2010	TLJ	Activity added by System Trigger (case_bid_ai_trg), Existence of associated ABN, ZON, MPL or CUP Case. Minor interior work that is not visual/TLJ



# CITY OF ORLANDO

Conditions Associated With Case #: BLD2010-00569

6/14/2016  
11:01:00AM

1912 S ORANGE AVE

Condition Code	Title	Hold	Status	Status		Tag	Updated	
				Changed	By		Date	By
B003	Contact-Marissis	None	Met	2/10/2010	MHG	BLDG	2/10/2010	MHG

For questions regarding Building Plan Review issues contact Marissis Gandert at 407.246.3213 or Marissis.Gandert@cityoforlando.net Information regarding plan review, permit issuance and inspections can be obtained by using PROMPT our interactive voice response system at 407.246.4444.  
 Notice: Contact Orange County Environmental Protection Division at 407.836.1400 for Demolition and Asbestos Removal Notification Requirements Prior to Start of Demolition or Renovation Work.  
 If this application for permit involves the demolition, alteration, or renovation of a commercial building or a residential project of four (4) or more dwelling units you are required to provide "Notice of Asbestos Renovation or Demolition" per Rule 62-257.301(1), F.A.C.

If your business involves food preparation you may need to obtain licensure from the State of Florida Division of Hotels and Restaurants. You may contact them at 850.487.1395 or go online to [www.myflorida.com/dbpr/hr](http://www.myflorida.com/dbpr/hr). Local District IV Office is located at Suite 802, Hurston Building, North Tower, 400 W. Robinson St., Orlando, FL 32801-1757.

2010 Activity?

- minor Interior work?
- was this the ~~recession~~ Reversed Floor Plan?
- was it ever permitted?

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# CITY OF ORLANDO

## Case Activity Listing

Case #: BLD2010-00569

6/14/2016  
11:00:23AM

Case #	Description	Date 1	Date 2	Date 3	Hold	Disp	Assigned To	Done By	Updated By	Notes
BLDI0600	Final Insp	7/12/2010	7/13/2010	7/13/2010	HWO	APPR	BSM	BSM	7/13/2010	407-725-9630 - Rosario STI
BLDM200	Freeze Case			2/1/2011	None	DONE		SYS	2/1/2011	Case frozen by System procedure (iss_finaled_prc).
BLDB0410	Review by Zoning Official	2/10/2010	2/17/2010	2/10/2010	Hold	DONE		TLJ	2/10/2010	Activity added by System Trigger (case_bld_atrg), Existence of associated ABN, ZON, MPL or CUP Case.
BLDB0030	Permit Issuance Hold	2/10/2010	3/3/2010	2/10/2010	Hold	DONE		MLR	2/10/2010	Minor interior work that is not visual- rotten wood and repairing roof leak/TLJ
BLDA0010	Application Received			2/10/2010	None			MLR	2/10/2010	
BLDB0260	Review by Electrical	2/10/2010	2/17/2010	2/10/2010	Hold	DONE		MLR	2/10/2010	
BLDB0210	Review by Building(B)	2/10/2010	2/17/2010	2/10/2010	Hold	APPR	MHG	MHG	2/10/2010	
BLDH0025	(F) Print Billing Summary			2/10/2010	None	DONE		MLR	2/10/2010	
BLDA0016	(F) Print Plan Labels			2/10/2010	None	DONE		MLR	2/10/2010	
BLDH0075	Check for Holds			2/10/2010	None	DONE		MLR	2/10/2010	



# CITY OF ORLANDO

## Case Activity Listing

Case #: BLD2010-00569

6/14/2016

11:00:24AM

Activity	Description	Date 1	Date 2	Date 3	Hold	Disp	Assigned To	Done By	Updated By	Notes
BLDI0090	Inspection Hold	2/10/2010		7/13/2010	Hold	APPR	BSM	BSM	7/13/2010	STI
BLDB0820	Notice of Commencement Req'd	2/10/2010		7/12/2010	None	DONE		SLB2	7/12/2010	na
								SLB2		
BLDH0100	(F) Issue BLD Permit			2/10/2010	None	DONE		MLR	2/10/2010	
								MLR		
BLDH0145	(F) Print Inspection Record			2/10/2010	None	DONE		MLR	2/10/2010	
								MLR		
BLDA0090	Misc. Activity			2/10/2010	None	DONE		MLR	2/10/2010	Rosario Poma picked up plans/permits
								MLR		
BLDI0150	Fire Final Insp	7/12/2010		7/13/2010	HWO	APPR	DLA	DLA	7/14/2010	407-725-9630 - Rosario DLA
								DLA		
BLDA0070	Case Finald			2/1/2011	None	DONE		SYS	2/1/2011	Case finald by System procedure (iss_finald_pre).
								SYS		
BLDB0760	Review by Urban Design	2/10/2010		2/17/2010	Hold	DONE		TLJ	2/10/2010	Activity added by System Trigger (case_bld_ai_trg). Existence of associated ABN, ZON, MPL or CUP Case. Minor interior work that is not visual/TLJ
								TLJ		



# CITY OF ORLANDO

## Case Activity Listing

Case #: ELE2009-03616

6/14/2016  
9:36:14AM

ELC

Activity	Description	Date 1	Date 2	Date 3	Hold	Disp	Assigned To	Done By	Updated By	Notes
ELEB0260	Review by Electrical	9/24/2009	10/1/2009	9/24/2009	Hold	APPR	DAN	DAN	9/24/2009	DAN
ELEA0010	Application Received			9/24/2009	None			DAN	9/24/2009	DAN
ELEA0015	(F) Print Plans Receipt			9/24/2009	None			DAN	9/24/2009	DAN
ELEH0025	(F) Print Billing Summary			9/24/2009	None			DAN	9/24/2009	DAN
ELEH0075	Check for Holds			9/24/2009	None	DONE	DAN	DAN	9/24/2009	DAN
ELEI0090	Inspection Hold	9/24/2009		11/3/2009	Hold	APPR	GIL	JZB	11/3/2009	STI
ELEM200	Freeze Case			6/1/2010	None	DONE		SYS	6/1/2010	Case frozen by System procedure (iss_finaled_pre).
ELEB0820	Notice of Commencement Req'd	11/16/2009		11/16/2009	None	DONE		SLB2	11/16/2009	SLB2
ELEI0600	Final Insp	11/2/2009	11/3/2009	11/3/2009	HWO	APPR	JZB	JZB	11/3/2009	Contractor Phone: (407) 748-2953 Message: Yes IVR Confirmation #: 987242-01
ELEI0600	Final Insp	12/17/2009	12/18/2009	12/18/2009	HWO	CANC	WPP	JZB	12/18/2009	Contractor Phone: (407) 587-5317 Message: No IVR Confirmation #: 009338-01 Cancelled per contractor



# CITY OF ORLANDO

## Case Activity Listing

Case #: ELE2009-03616

6/14/2016  
9:36:14AM

Activity	Description	Date 1	Date 2	Date 3	Hold	Disp	Assigned To	Done By	Updated By	Notes
ELEI0600	Final Insp	12/18/2009	12/21/2009	12/21/2009	HWO	CANC	WPP	WPP	12/21/2009	STI Contractor Phone: (407) 587-5317\nr Message: Yes\nr IVR Confirmation #: 010160-01 Cancel Per Eric with Millennium Electric
ELEA0070	Case Finaled			6/1/2010	None	DONE		SYS	6/1/2010	Case finaled by System procedure (iss_finaled_pre).
ELEH0100	(F) Issue ELE Permit			9/24/2009	None	DONE	DAN	DAN	9/24/2009	



# CITY OF ORLANDO

## Case Activity Listing

Case #: ELE2009-04009

6/14/2016  
9:35:32AM

ELS

Activity	Description	Date 1	Date 2	Date 3	Hold	Disp	Assigned		Done	Updated		Notes
							To	By		By	By	
ELEI0090	Inspection Hold	10/27/2009		11/3/2009	Hold	APPR	GIL	JZB	JZB	11/3/2009	STI	
ELEH0100	(F) Issue ELE Permit			10/27/2009	None	DONE		REB	REB	10/27/2009	REB	
ELEH0140	(F) Reprint ELE Permit			10/27/2009	None			REB	REB	10/27/2009	REB	
ELEB0260	Review by Electrical	10/27/2009	11/3/2009	10/27/2009	Hold	APPR		REB	REB	10/27/2009	REB	
ELEA0010	Application Received			10/27/2009	None			REB	REB	10/27/2009	REB	
ELEM200	Freeze Case			6/1/2010	None	DONE		SYS	SYS	6/1/2010	SYS	Case frozen by System procedure (iss_finaled_prc).
ELEH0140	(F) Reprint ELE Permit			10/29/2009	None			EGP	EGP	10/29/2009	EGP	Customer wants this faxed to his office
ELEI0600	Final Insp	11/2/2009	11/3/2009	11/3/2009	HWO	APPR	JZB	JZB	JZB	11/3/2009	STI	Contractor Phone: (407) 748-2953 Message: No IVR Confirmation #: 987259-01
ELEI0600	Final Insp	12/17/2009	12/18/2009	12/18/2009	HWO	CANC	WPP	JZB	JZB	12/18/2009	STI	Contractor Phone: (407) 587-5317 Message: No IVR Confirmation #: 009346-01
ELEI0600	Final Insp	12/18/2009	12/21/2009	12/21/2009	HWO	CANC	WPP	WPP	WPP	12/21/2009	STI	Cancelled per contractor Contractor Phone: (407) 587-5317 Message: Yes IVR Confirmation #: 010163-01
ELEI0600	Final Insp	12/18/2009	12/21/2009	12/21/2009	HWO	CANC	WPP	WPP	WPP	12/21/2009	STI	Cancel per Eric with Millennium Electric



# CITY OF ORLANDO

## Case Activity Listing

Case #: ELE2009-04009

6/14/2016  
9:35:33AM

Activity	Description	Date 1	Date 2	Date 3	Hold	Disp	Assigned To	Done By	Updated By	Notes
ELEA0070	Case Finald			6/1/2010	None	DONE		SYS	6/1/2010 SYS	Case finald by System procedure (iss_finald_prc).
ELEH0025	(F) Print Billing Summary			10/29/2009	None	DONE		EGP	10/29/2009 EGP	

Building -- BLD2010-00569 Status FNL

2010

Primary Contact: ROSARIO POMMA

Case Address: 1912 S ORANGE AVE

Case Description: P [3] \$ [ ] C [ ] Project Name: PULSE ORLANDO

Replacing drywall rotted wood at the bar and roof leak... non structural.

Updated: 2/1/2011 SYS

Master # BLD2010-00569

Project Name: PULSE ORLANDO

Occupant Load: [ ]

FBC Code: 2007 Florida Building Code

Sprinkler Req. by FBC?: [ ]

FBC Construction Type: Mercantile

FBC Occupancy Classification: [ ]

Number of Stories: [ ]

Building Height: [ ] ft

C. O. Area: [ ] sqft

Radon Area: [ ] sqft

Estimated Cost: \$900

General 1

General 2

Engineering Zoning

Land Use

CNC Capacity

Building

Fire General

Fire Systems

Fire Code -- FIR2009-01036 Status FNL

Primary Contact: 1912 SOUTH ORANGE LLC

Case Address: 1912 S ORANGE AVE

Case Description: P [3] \$ [ ] C [ ] Project Name: PULSE ORLANDO

Install voice evac fire alarm system w / remote monitoring

Updated: 7/1/2010 SYS

Master # FIR2009-01036

Project Name: PULSE ORLANDO

Occupant Load: [ ]

FBC Code: [ ]

Subtype: Fire Alarm

Fire Suppression Type: N/A

# of Hydrants: [ ]

# of Pumps: [ ]

Estimated Cost: \$10,065

General

Tanks

Received By: DAN

Dates

Received: 9/24/2009

Issued: 10/2/2009

Transfer to FD: [ ]

Expiration: 3/31/2010

Building -- BLD2003-08240 Status FNL

Primary Contact: CONTELLA FAMILY LP

Case Address: 1912 S ORANGE AV

Case Description: P [3] \$ [ ] C [ ] Project Name: PULSE ORLANDO

terrior and exterior alterations

Updated: 2/1/2005 SYS

Master # BLD2003-08240

Project Name: PULSE ORLANDO

Occupant Load: [ ]

FBC Code: [ ]

Sprinkler Req. by FBC?: No

FBC Construction Type: Type IV-Unprotected

FBC Occupancy Classification: Assembly-Small

Number of Stories: 1

Building Height: 20 ft

C. O. Area: 4,797 sqft

Radon Area: 4,797 sqft

Estimated Cost: \$90,000

General 1

General 2

Engineering Zoning

Land Use

CNC Capacity

Building

Fire General

Fire Systems

Local Business Tax Receipt -- BUS0004986-003 Status INV

Primary Contact: PULSE

Case Address: 1912 S ORANGE AVE

Case Description: P [3] \$ [2] C [ ] Project Name: PULSE

RESTAURANT/MARTINI

Updated: 6/11/2016 SYS

Master # BUS0004986-003

Project Name: PULSE

Occupant Load: [ ]

FBC Code: [ ]

Master Loc#: 4986

Business Loc#: 3

Code Enforcement Action?: No

Exempt Code: Not Applicable

Home Occ?: No

Annexation Date: [ ]

General

License History

Received By: [ ]

DATES

Received: [ ]

Business Opened: 7/1/2004

Issued: 7/23/2015

Expiration: 9/30/2012

Business Closed: [ ]

Declaration

License

Declaration

License History

Declaration History

Fee History

Activity History



# CITY OF ORLANDO

Conditions Associated With Case #: FIR2009-01036  
1912 S ORANGE AVE

6/14/2016  
11:04:52AM

Condition Code	Title	Hold	Status	Status		Tag	Updated	
				Changed	By		Date	By
F017	Contact-Spencer	None	Met	9/30/2009	CBS	FIRE	9/30/2009	CBS
	For questions regarding fire plans review, please contact Calvin Spencer at 407.246.3217 or calvin.spencer@cityoforlando.net. To obtain plan review status, schedule/cancel an inspection and obtain inspection results, please call PROMPT, our Interactive Voice Response System at 407.246.4444.							
F022	General Info-FA Inspections	None	Met	9/30/2009	CBS	FIRE	9/30/2009	CBS
	A low-voltage electrical permit is required for fire alarm systems. The fire inspector must witness an operational test of the fire alarm/detection system when construction is complete. This shall be coordinated with all other fire system contractors and the general contractor.							

In the event of that a fire alarm operational test is disapproved, a verification test must be completed by an approved third party organization, such as a professional engineer or licensed contractor, as referenced in NFPA 72, Section 4.5.2.4 prior to reinspection. The fire contractor of record must submit the completed certification paperwork from the third party organization and a completed record of completion before the fire inspector performs a reinspection.

To schedule an inspection, please call our IVR system at 407.246.4444, or visit our website at [www.cityoforlando.net/permits](http://www.cityoforlando.net/permits). Please note that audibility requirements cannot be determined during plan review; therefore, the contractor must show compliance with audibility requirements using a sound level meter during the inspection. Additional notification appliances may be necessary if test results do not show proper sound or visual notification levels.

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# CITY OF ORLANDO

## Case Activity Listing

Case #: FIR2009-01036

*Fire Permit!*

6/14/2016  
11:04:23AM

Activity	Description	Date 1	Date 2	Date 3	Hold	Disp	Assigned To	Done By	Updated By	Notes
FIRA0070	Case Finalled			7/1/2010	None	DONE		SYS	7/1/2010 SYS	Case finalled by System procedure (iss_finalled_prc).
FIRM200	Freeze Case			7/1/2010	None	DONE		SYS	7/1/2010 SYS	Case frozen by System procedure (iss_finalled_prc).
FIRA0010	Plans Received			9/24/2009	None		DAN	DAN	9/24/2009 DAN	
FIRB0030	Permit Issuance Hold	9/24/2009	10/15/2009	10/2/2009	Hold	DONE		CLH	10/2/2009 CLH	
FIRB0280	Review by Fire(B)	9/24/2009	10/1/2009	9/30/2009	Hold	APPR	CBS	CBS	9/30/2009 CBS	
FIRI0420	Op Test-Alarm System	12/17/2009	12/18/2009	12/18/2009	HwO	APPR	WAA	WAA	12/18/2009 WAA	Contractor Phone: (407) 587-5317 Message: No nlr IVR Confirmation #: 009520-01
FIRA0016	(F) Print Plan Labels			9/24/2009	None	DONE	DAN	DAN	9/24/2009 DAN	
FIRA0100	Notify Applicant			9/30/2009	None	DONE		CBS	9/30/2009 CBS	
FIRI0090	Inspection Hold	10/2/2009		12/18/2009	Hold	APPR	DLA	WAA	12/18/2009 WAA	
FIRH0100	(F) Issue FIR Permit			10/2/2009	None	DONE		CLH	10/2/2009 CLH	



# CITY OF ORLANDO

## Case Activity Listing

Case #: FIR2009-01036

6/14/2016  
11:04:23AM

Activity	Date 1	Date 2	Date 3	Hold	Disp	Assigned To	Done By	Updated By	Notes
FIRB0820 Notice of Commencement Req'd	10/2/2009		12/17/2009	None	DONE		PAC	12/17/2009 PAC	
FIRA0015 (F) Print Plans Receipt			9/24/2009	None	DONE	DAN	DAN	9/24/2009 DAN	



# CITY OF ORLANDO

## Occupancy Calculations

Date: 26-May-09	Occupant Load: 360
Occupant: Pulse	Remarks:
Address: 1912 S Orange Ave	
File Number: 6501	
Occupancy: Assembly	
No. of Floors: One	

## Seating Capacity

Assembly Use	Input	Sq Ft / Person	Allowed
Concentrated Use	0	5	0
W/O fixed Seating	2308	7	330
Less Concentrated use			
W/O fixed seating	180	15	12
Bench Type Seating	88	1.5	59
Fixed Seats	0	1	0
Waiting Spaces	0	3	0
Kitchens	0	100	0
Library Stack Area	0	100	0
Library Reading Area	0	50	0
Swimming Pool	0	50	0
Pool decks	0	30	0
Exercise Rooms with equipment	0	50	0
Exercise Rooms without equipment	0	15	0
Stages	340	15	23
Lighting and access catwalks, galleries, gridirons	0	100	0
Casinos & similar gaming area	0	11	0
Skating Rinks	0	50	0

Floor: 1

The Smallest Number below is Occ. Load for this Assembly Occupancy	
Floor Area:	430
Main Door 50%:	360
Main Door 67%:	314
Secondary:	1440
All Doors:	900
Stairs:	0

Assembly Egress Capacities		
	Inches	Egress Capacity
Main :	36	180
Secondary:	144	720
Stairs:	0	0

Total: 423

Educational Use	Input	Sq Ft / Person	Allowed
Classrooms	0	20	0
Shops Laboratories, vocational rooms	0	50	0

REF: NFPA 101, Table 7.3.1.2

Total: 0

Day Care Use	Input	Sq Ft / Person	Allowed
Day Care	0	20	0
Day Care pre 10/1/91	0	20	0

Total: 0

Health Care Use	Input	Sq Ft / Person	Allowed
Inpatient treatment	0	240	0
Sleeping	0	120	0
Ambulatory	0	100	0

Total: 0

Detention/Correctional	Input	Sq Ft / Person	Allowed
Detention/Corr.	0	120	0

Total: 0

Residential Use	Input	Sq Ft / Person	Allowed
Hotels / Dorms	0	200	0
Apartment Bldgs.	0	200	0
Board & Care	0	200	0

Total: 0

Industrial Use	Input	Sq Ft / Person	Allowed
General and high hazard industrial	0	100	0
Special Purpose Industrial		N/A	

Total: 0

Business Use	Input	Sq Ft / Person	Allowed
Business Use	656	100	7

Total: 7

Elevator Lobby	Input	Sq Ft / Person	Allowed
	0	3	0

Total: 0

Storage	Input	Sq Ft / Person	Allowed
Storage Occupancies	0	N/A	
In Merchantile	0	300	0
Other than storage or merchantile	0	500	0

Total: 0

Determine the area / Circumference of a circle

Enter Radius: 1

Area of Circle: 3.14

Circumference: 6.28

Assembly Door width Requirements

Front Doors at 67% (inches): 0

Front Doors at 50% (inches): 0

Secondary Exits at 50% (inches): 0

Mercantile Use	Input	Sq Ft / Person	Allowed
Sales area @ grade	0	30	0
Sales area on two or more floors @ grade	0	40	0
Sale area below street floor	0	30	0
Sale areas on floors above street level	0	60	0
Floors or portions of floors used for offices	0	100	0
Floors or portions of floors used only for storage, receiving and shipping. Not open to public	0	300	0
Mall Buildings	Per factors applicable to the use of the space.		

**Mercantile Occupancy Classifications**  
 Class "A": More than 30000 sq ft  
 Class "B": 3000 to 29999 sq ft  
 Class "C": Up to 2999 sq. ft.

\* The occupant load in any building or portion thereof shall be permitted to be increased from the occupant load established for the given use IAW (NFPA 101) 7.3.1.2 where all other requirements of this code are met.

Total:	0
Grand Total:	430

Available Egress Capacity			
Use	Input	Width / person	Allowed
<b>Board &amp; Care</b>			
Stairways:	0	0.4	0
Level Components:	0	0.2	0
<b>Health Care (sprink)</b>			
Stairways:	0	0.3	0
Level Components:	0	0.2	0
<b>Health Care (unsprk)</b>			
Stairways:	0	0.6	0
Level Components:	0	0.5	0
<b>High Hazard Content</b>			
Stairways:	0	0.7	0
Level Components:	0	0.4	0
<b>All Others</b>			
Stairways:	0	0.3	0
Level Components:	0	0.2	0

REF: NFPA 101, Table 7.3.3.1

Level components includes ramps.

Required Width			
Level Components	People	Width/person	Width
	0	0.2	0.00 in.
			0.00 ft.
Stairways	People	Width/person	Width
	0	0.3	0.00 in.
			0.00 ft.

Occupant: Pulse  
 Floor: 1  
 26-May-09  
 Page 3 of 3

# 1912 S. Orange Avenue - Pulse

## PROPERTY INFORMATION:

- Pulse is located at 1912 S. Orange Avenue.
- The property is zoned AC-N/T ---- A nightclub/dance hall is considered INDOOR RECREATION per the LDC. INDOOR RECREATION is a Conditional Use in the AC-N/T zoning district.
- The Orange County Property Appraiser has assigned a building code 3300 for 1912 S Orange Avenue. 3300 is coded as Nightclub/Bars.
- A Conditional Use Permit (CUP) was issued for this property to allow a restaurant with more than 51% of its revenues from sales of alcoholic beverages within 1,000 ft. of a church.

## NOTABLE CONDITIONS OF THE CONDITIONAL USE APPROVAL:

- **Outdoor Sales and Consumption** --No outdoor sales or consumption of alcoholic beverages shall be allowed between the hours of 7 am and 5 pm, Monday through Friday.
- **Advertising** --No advertisements of alcoholic beverages shall be visible from the exterior of the building
- **Entertainment** - Cover charges and entry fees may only be collected on an occasional basis for special events such as live entertainment; no entertainment (live or recorded music, etc.) shall be performed outside on this site.
- **Transportation** - The attached survey shows that the parking spaces and driving aisle within the parking lot are modified and do not meet City requirements or previous approvals. The Owner / Applicant shall provide a Site Plan to be included with the Conditional Use application approval and record file that restore the previously approved parking lot design as follows.
  - The parking adjacent to the south side of the building shall be relocated as angled parking adjacent to Ester Street.
  - Either parking lot landscaping or wheel stops shall be shown on the site plan adjacent to Orange Avenue and Ester Street to prohibit vehicle from driving or parking on the public Sidewalk and public Parkway / Right-of-way.
  - The southern end parking space of the parking row adjacent to the east side of the building shall be removed from the approved driving aisle.
  - Handicap parking shall be shown on the site plan per code.
  - An on-site accessible enclosed / gated Dumpster shall be shown.
    - The above listed approvals were based upon previous non-substantial / significant improvements to the building and site. If in the future the site is substantially / significantly enlarged or improved other changes to the parking lot will be required per City Code for properties accessing from a Thoroughfare street (Orange Avenue).
- **Bicycle Calculation # of Spaces** - The applicant shall install one (1) bicycle rack consisting of three (3) bicycle parking spaces. The bicycle rack(s) should be located on the same building site which it serves, convenient to the principal entrance of the building. To the maximum extent feasible, covered bicycle parking should be provided. Bicycle facilities shall also be reflected on all construction plans.
- **Change in Occupancy** - Changes in occupancy in existing structures according to the Fire Code will require total compliance with current standards.[NFPA 101: 4.6.11]
- **Fire Protection** - Based on the information provided, a preliminary review was performed. A detailed review of the fire protection requirements will be performed when plans are submitted for permitting.
- **Sprinkler Docs** - Complete sprinkler drawings, designed and sealed by a registered professional engineer, shall be provided as part of construction documents at the time of permitting.

*This document was prepared as a direct*

## **ISSUES WITH THE APPROVED CONDITIONAL USE PERMIT**

- The floor plan approved as part of the Conditional Use Permit (see attached) is not consistent with the most recent floor plan submitted with a fire permit - FIR2009-01036 (attached). The most recent floor plan submitted shows a dance floor, two sound/speaker areas, two bars, two lounge areas and an office.
- Based on the photos taken on 7/14/10 (attached) there are no signs of the required bicycle rack.
- Since opening in 2004, the occupancy of the space appears to have changed. The approved occupancy was 233 and now the occupancy is 300. Although the business owner installed a voice eve fire alarm system, a permit has not been applied for a change of occupancy.

A number of the conditions listed above are operational conditions and compliance with those conditions will require a site visit during business hours.

## **ISSUES WITH UNPERMITTED EXTERIOR IMPROVEMENTS TO THE SITE**

There appear to be items (internal and external) at 1912 S. Orange Avenue that were erected, constructed and/or demolished without the issuance of appropriate permits. The following should be reviewed for code compliance:

- The attached photos (see photo #8 on page 4) show a white privacy fence along the front façade of the building. Per the City's permit records there has never been a fence permit issued on this property.
- Three parking spaces have been removed to accommodate an outdoor seating area (see photo #10, pg. 5).
- The black canopy/awning structure (see photo #10, pg. 5) that runs along the eastern façade (S. Orange Avenue) has not been permitted.
- The deck/concrete patio (see photo #20, pg. 10) that exists along the eastern façade of the building has not been permitted.
- The existing pylon sign was installed (see photo #11, pg. 6) – a permit was issued but the permit was never finalized. A final inspection should be scheduled.
- The two windows along the eastern façade of the building (see photo #22, pg. 12) have been blocked by the unpermitted privacy fence (see photo #10, pg.5). The Land Development Code requires that the ground floor building wall facing the street shall contain a minimum of 15% transparent materials located between 3 and 7 feet measured from the ground level.
- The Business Tax Receipt on file with the City states that 5,000 sq.ft. of the existing building is operating as a restaurant and 100 sq.ft. is a dance hall.

A site visit is recommended to view the interior of the space. There may be more items constructed and/or demolished without permits.

## **EXISTING PARCEL TAGS**

- By Tim Johnson (6/1/2010) - Any new work will need to include all changes made to the interior and exterior of the business- changes have been made to the plumbing, walls have been removed, and the bar has been relocated. Also the deck at the front with plumbing is new and unpermitted work.
- By Jack Richardson (6/1/2010) - This building may require the addition of a fire protection sprinkler system and additional means of egress. Verify scope of work on any new permits to determine whether these additional life safety features are to be included.

## **PERMIT HISTORY:**

**CUP2009-00012** – Conditional Use approval to allow a restaurant with more than 51% of its revenues from sales of alcoholic beverages within 1,000 ft. of a church. Approved by MPB on July 15, 2003.

**BLD2003-08240** – Interior and Exterior alterations. Issued 1/28/04. Final inspections approved 7/16/04. Certificate of Occupancy (for 233) was issued on 7/16/04.

**PLM2009-04837** - Plumbing, Issued 2/11/04. Final inspection approved 6/30/04

**BLD2004-02361** – New Roof (addition) - Permit issued 3/30/04. Final inspection approved 6/29/04

**ELE2004-01548** – Install electricity for commercial --- Issued 4/9/04. Final inspection 7/15/04.

**ENG2004-00194**- Asphalt resurfacing parking lot, wheel stops, silt fence, curbing, dumpster, concrete driveway, and sidewalk repair. Issued: 4/14/04. Final inspection: 7/16/04

**MEC2004-01104** - Duct work for 3 a/c's 1 exhaust fan & duct. Issued 4/16/04. Final inspection approved 6/29/04

**ABL2004-00057** – Application for a 4COP. Application received 5/2004

**BLD2004-12460 & BLD2005-14258 & BLD2006-05292** - Three tent permits were issued for Pulse nightclub in 2004 and 2005 for special events.

\* **BLD2004-03493** – Sign - Face Change Only of (1) electric pylon sign - 120 sq. ft. per drawings -- Issued 6/2/04. No inspections – not finalized. Permit expired 2/1/05 by the system.

\* **BLD2004-05156** - install awning/canopy EXPEDITE per Tim Johnson flat plans. Issued 6/24/04. Final inspection approved 6/28/04

**FIR2009-01036** – Voice Evac with fire alarm monitoring system. Issued 10/2/09. Finalized 12/18/09  
In association with FIR2009-01036 are:

**ELE2009-03616** - finalized

**ELE2009-04009** – finalized

**BLD2010-00569** - Replacing drywall and rotted wood at the bar and roof leak...non structural. Issued- 2/10/10. Final inspection approved – 7/13/10

## NEXT STEPS

- OPTION I

The applicant can choose to comply with the approved Conditional Use Permit and convert the space to conform to the approved CUP floor plan (attached).

- OPTION II

The applicant can choose to amend the existing CUP and request for CUP approval to allow a nightclub at 1912 S. Orange Avenue.

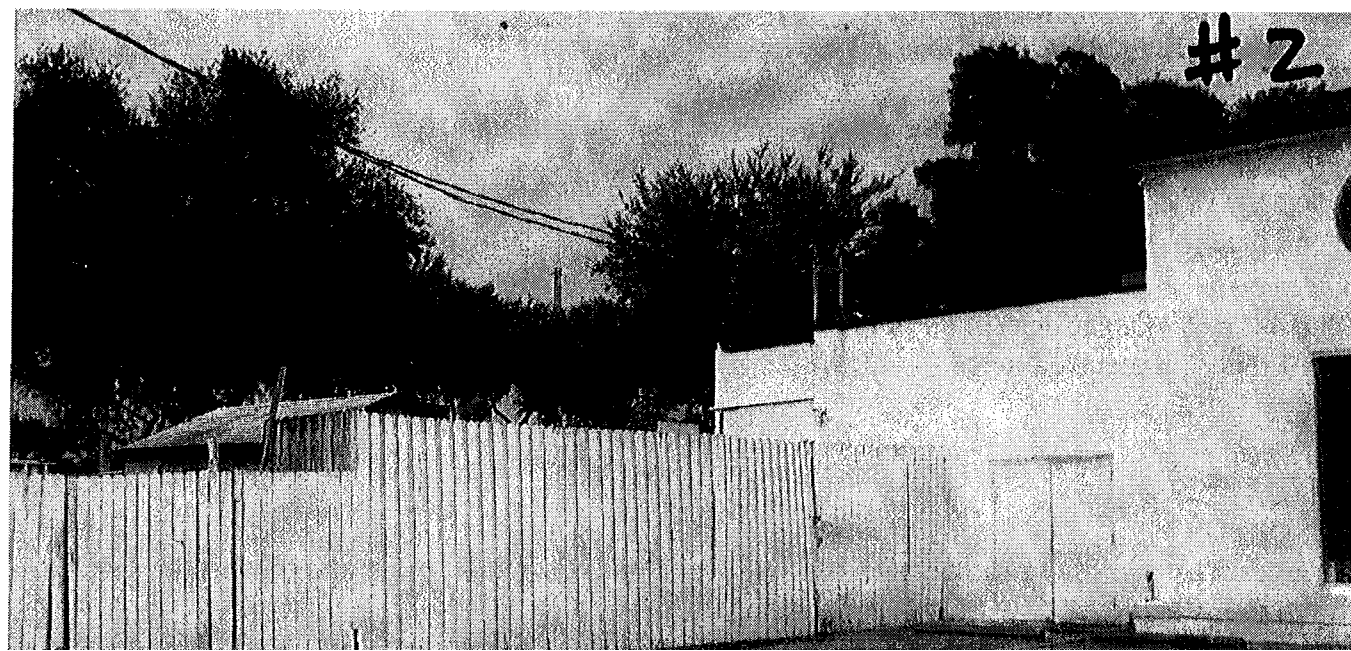
\*\*\*Either option requires the applicant to obtain permits for any and all work that has been completed without permits.



7/14/10



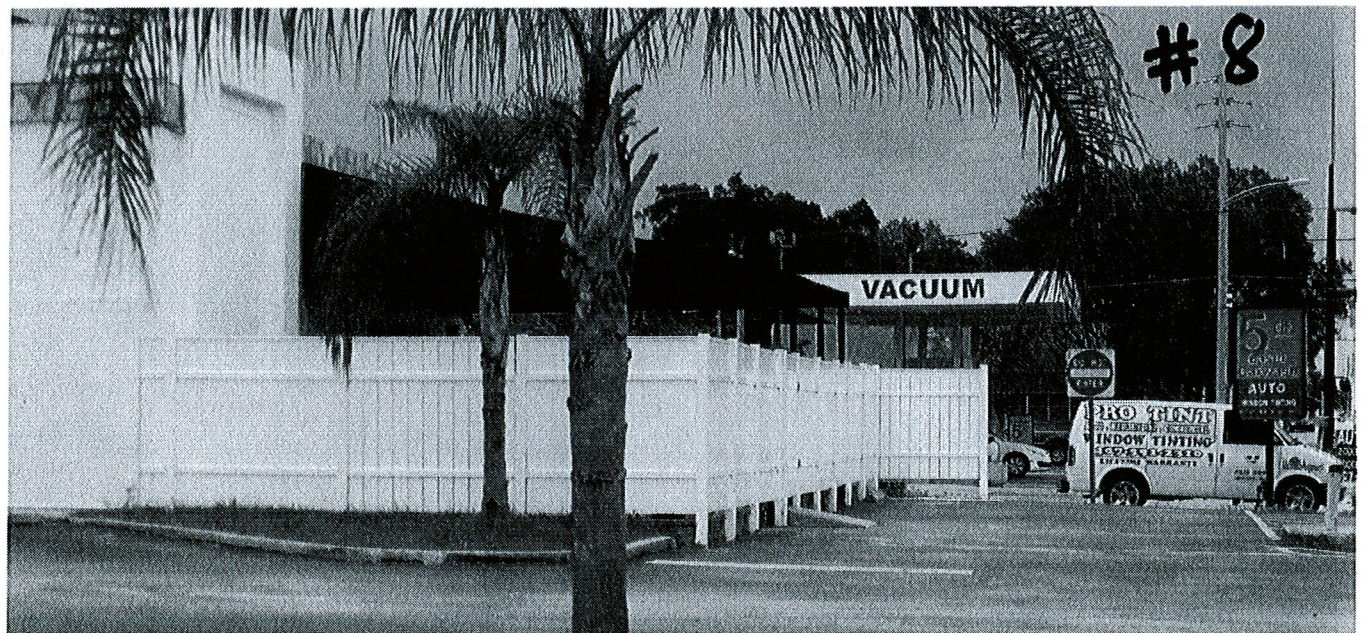
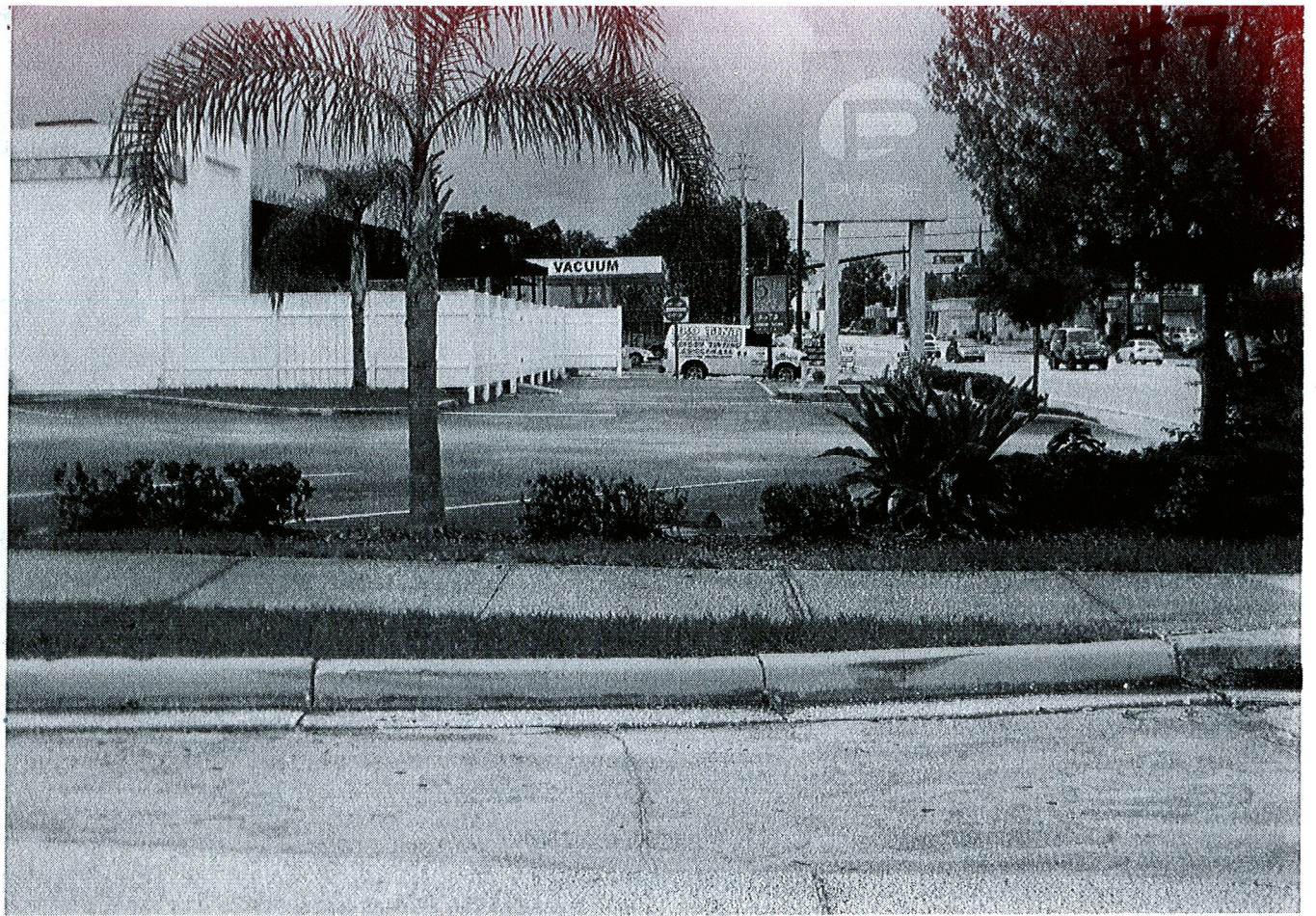
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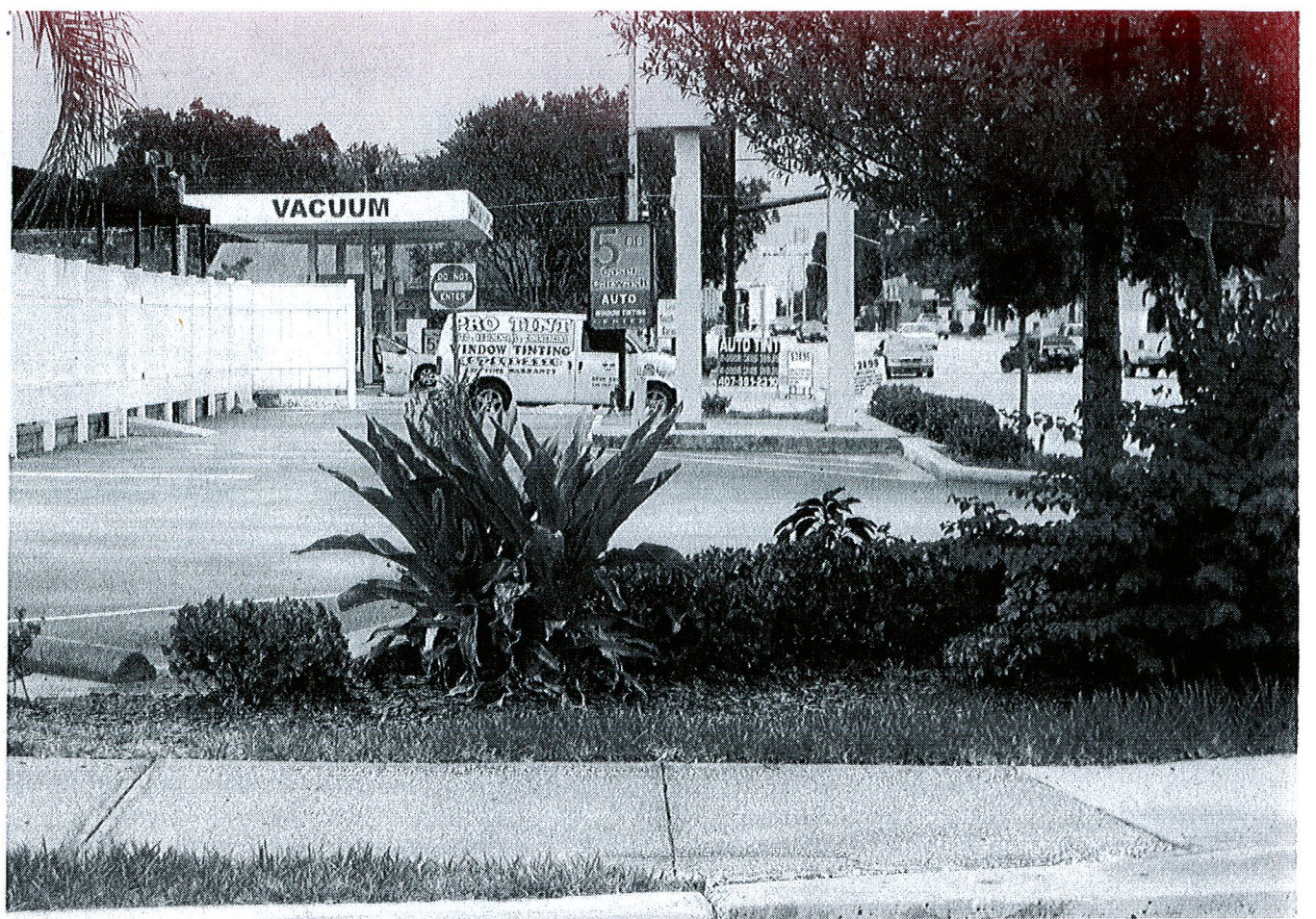


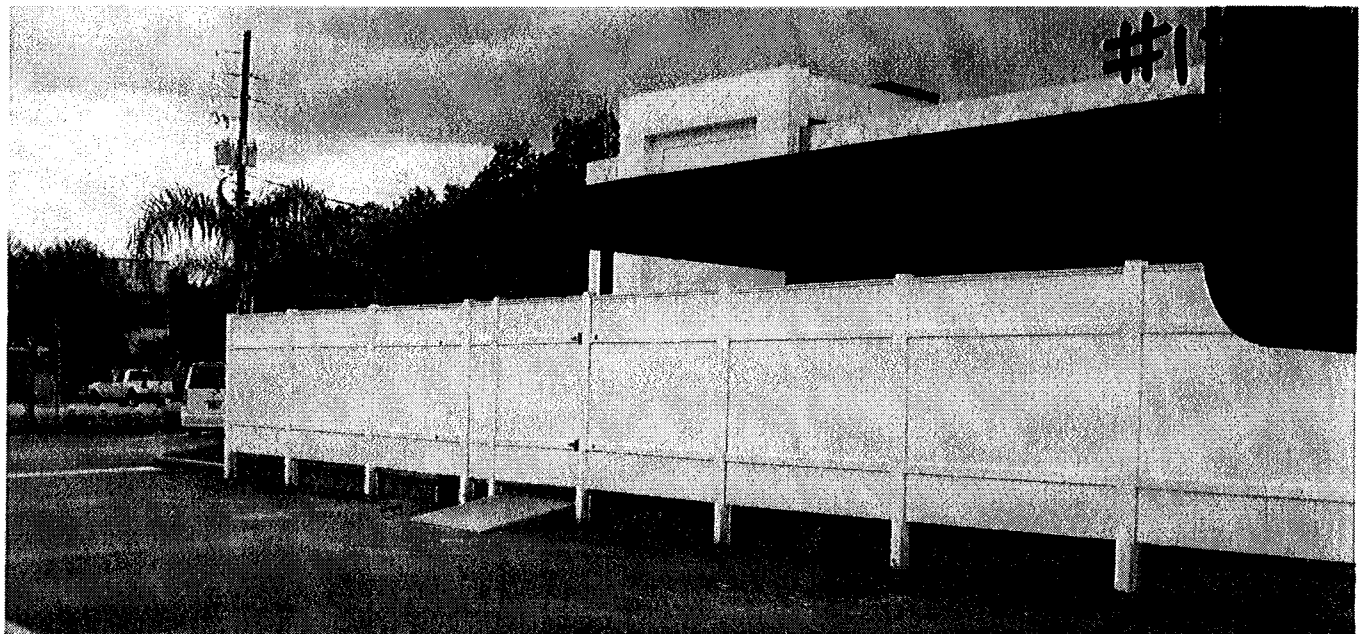


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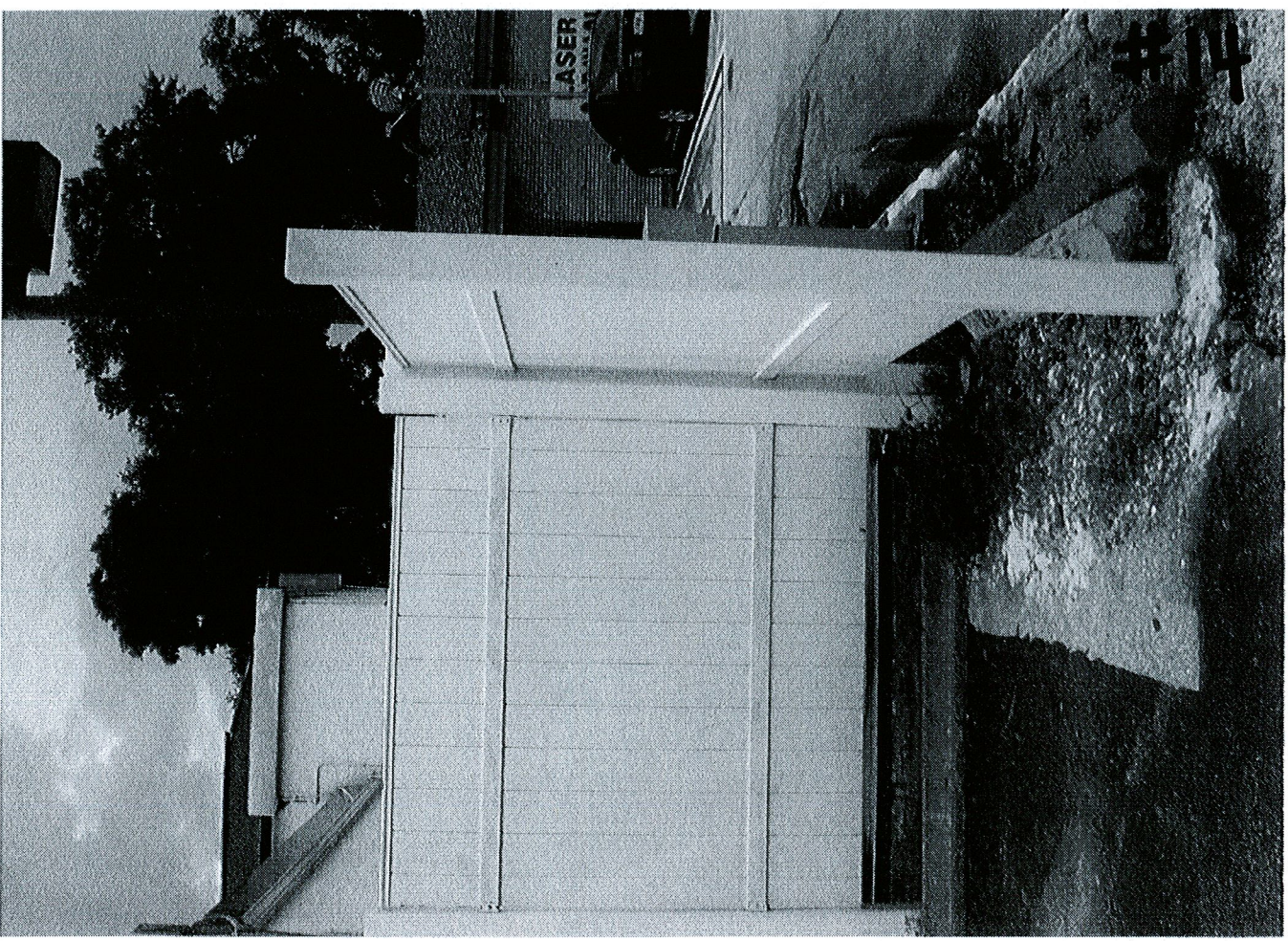


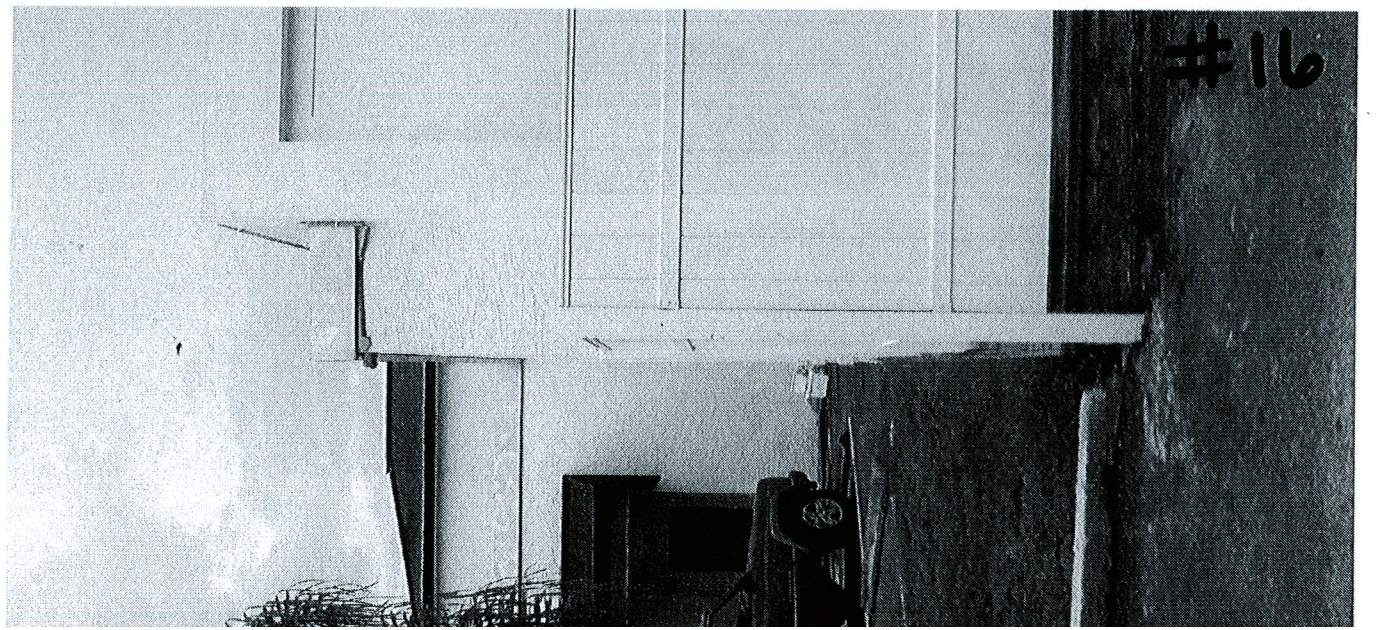


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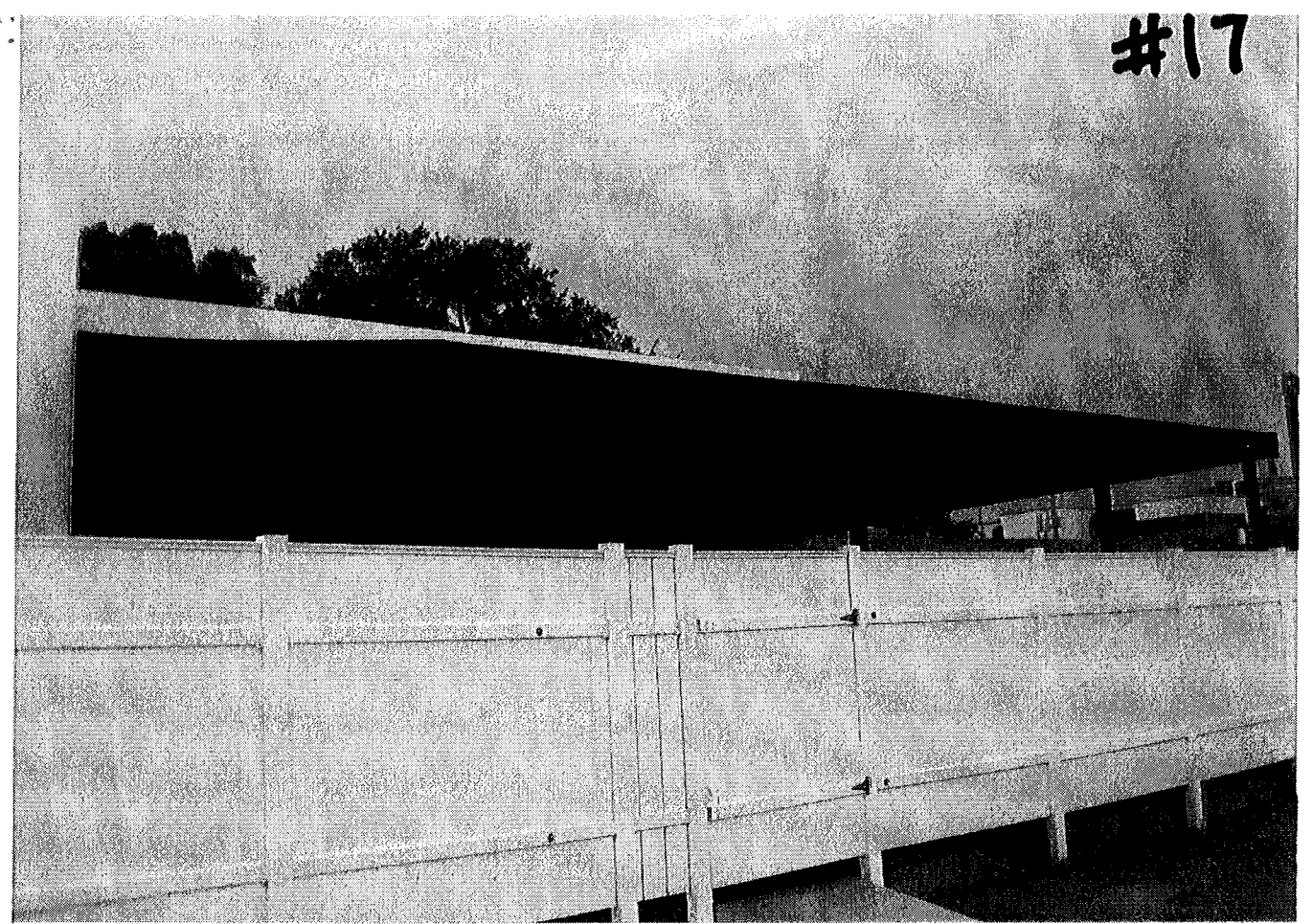
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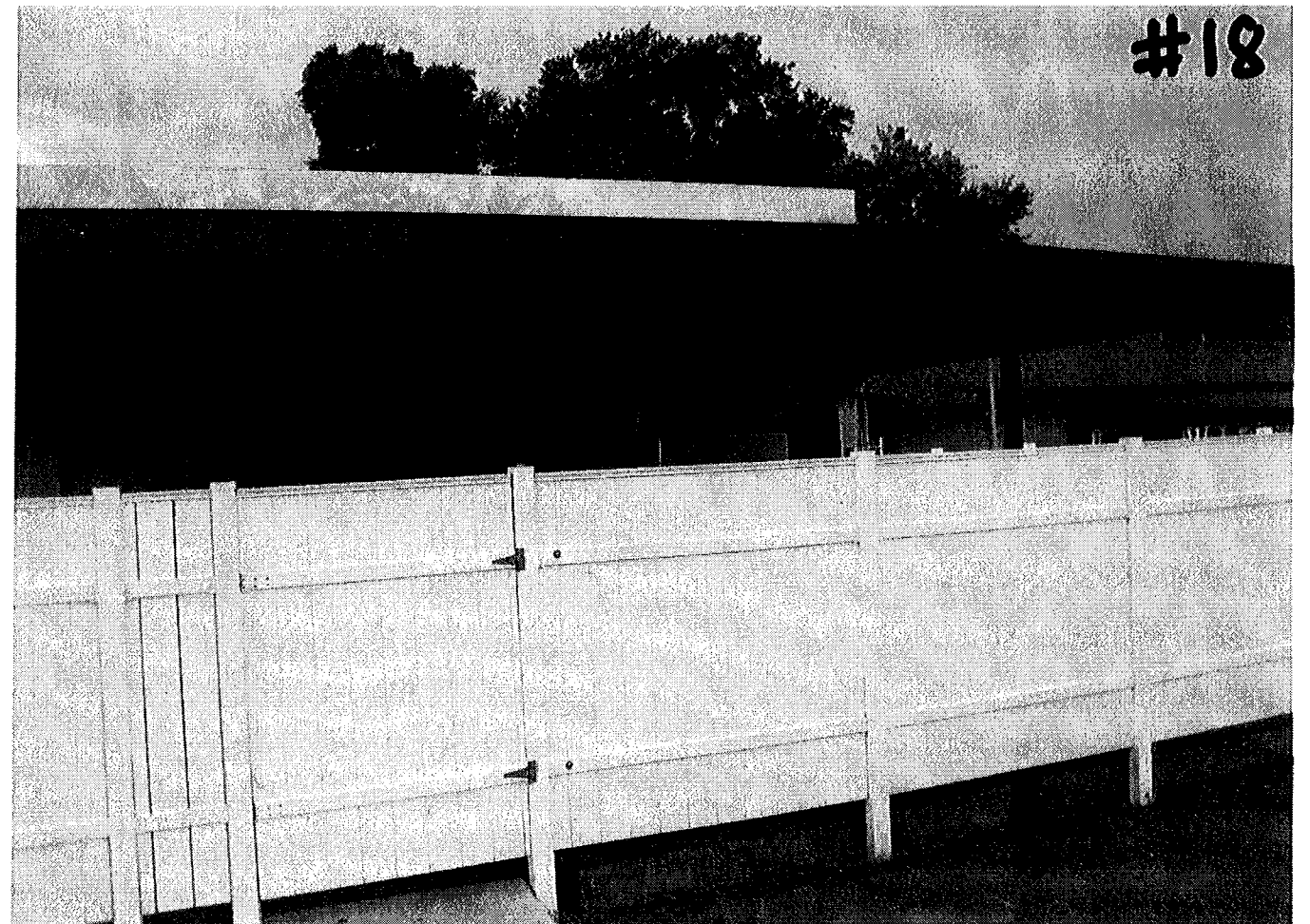


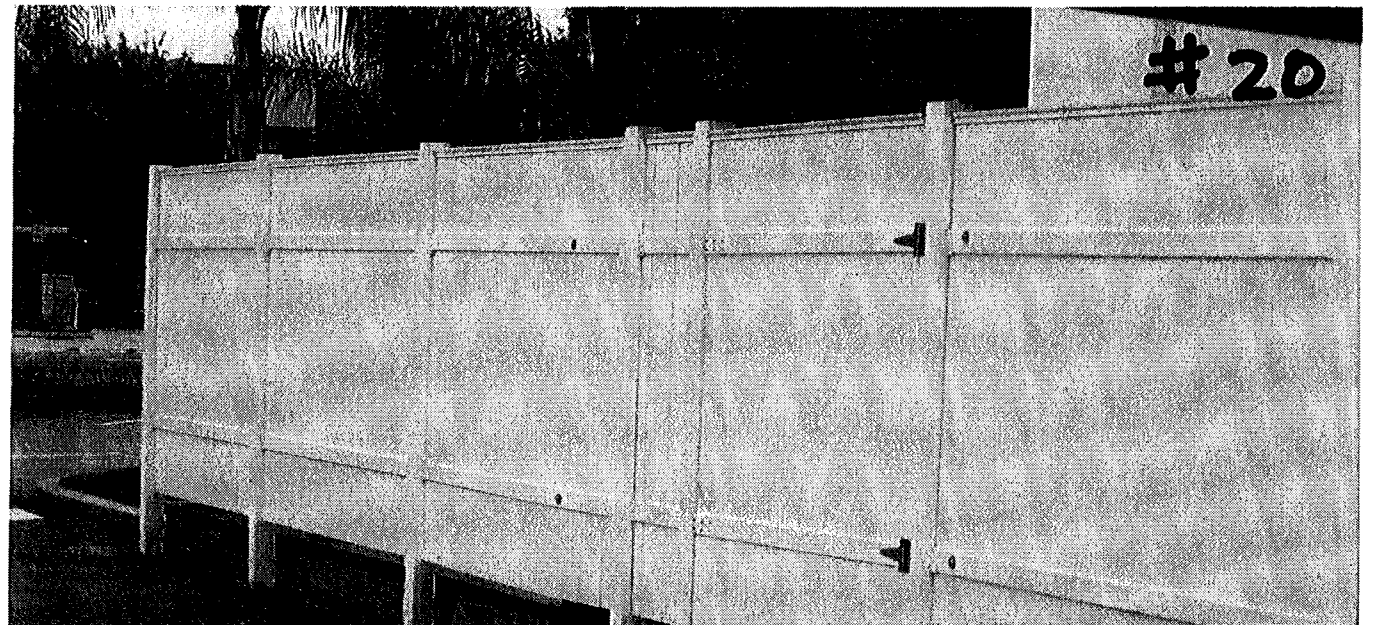
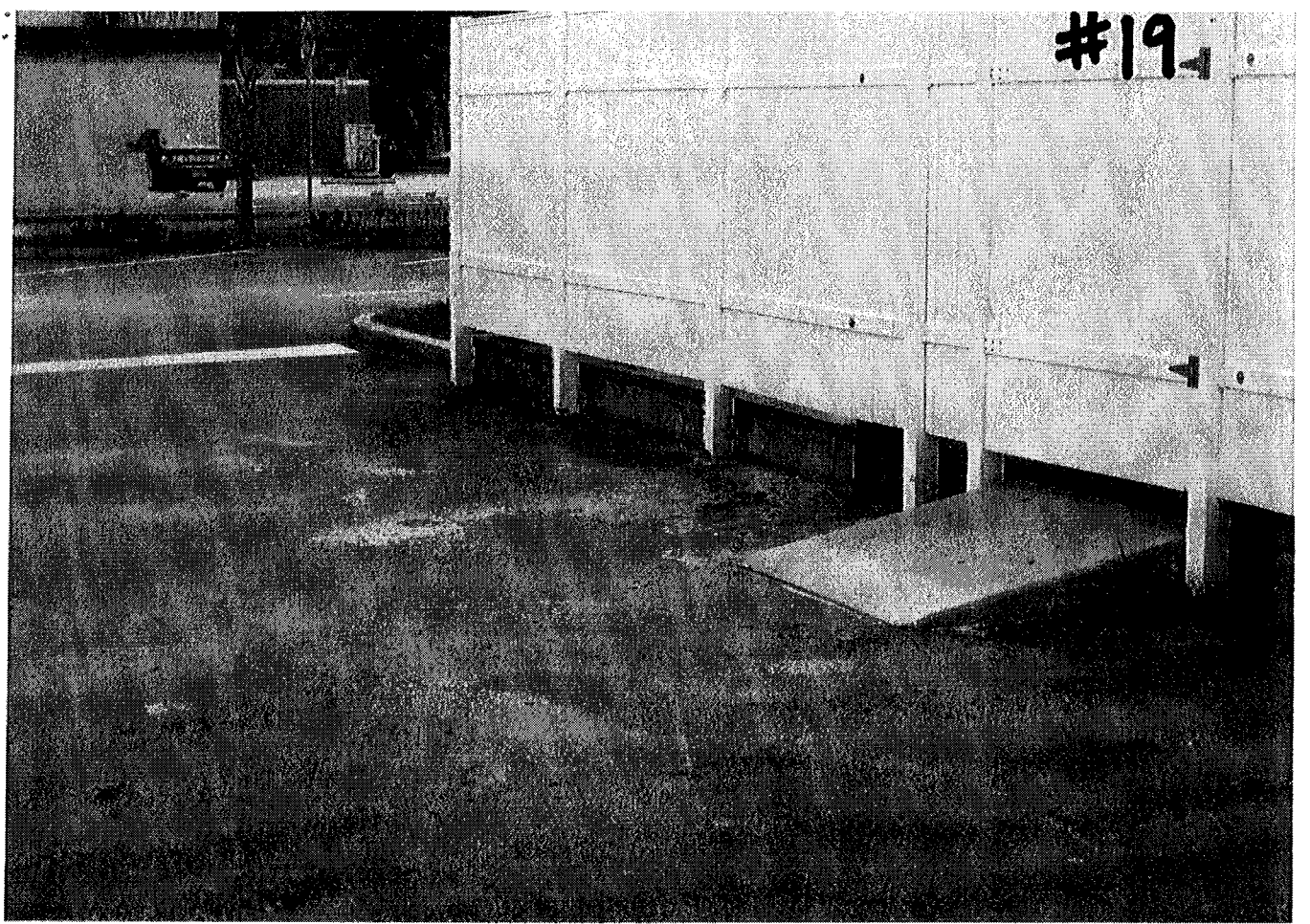


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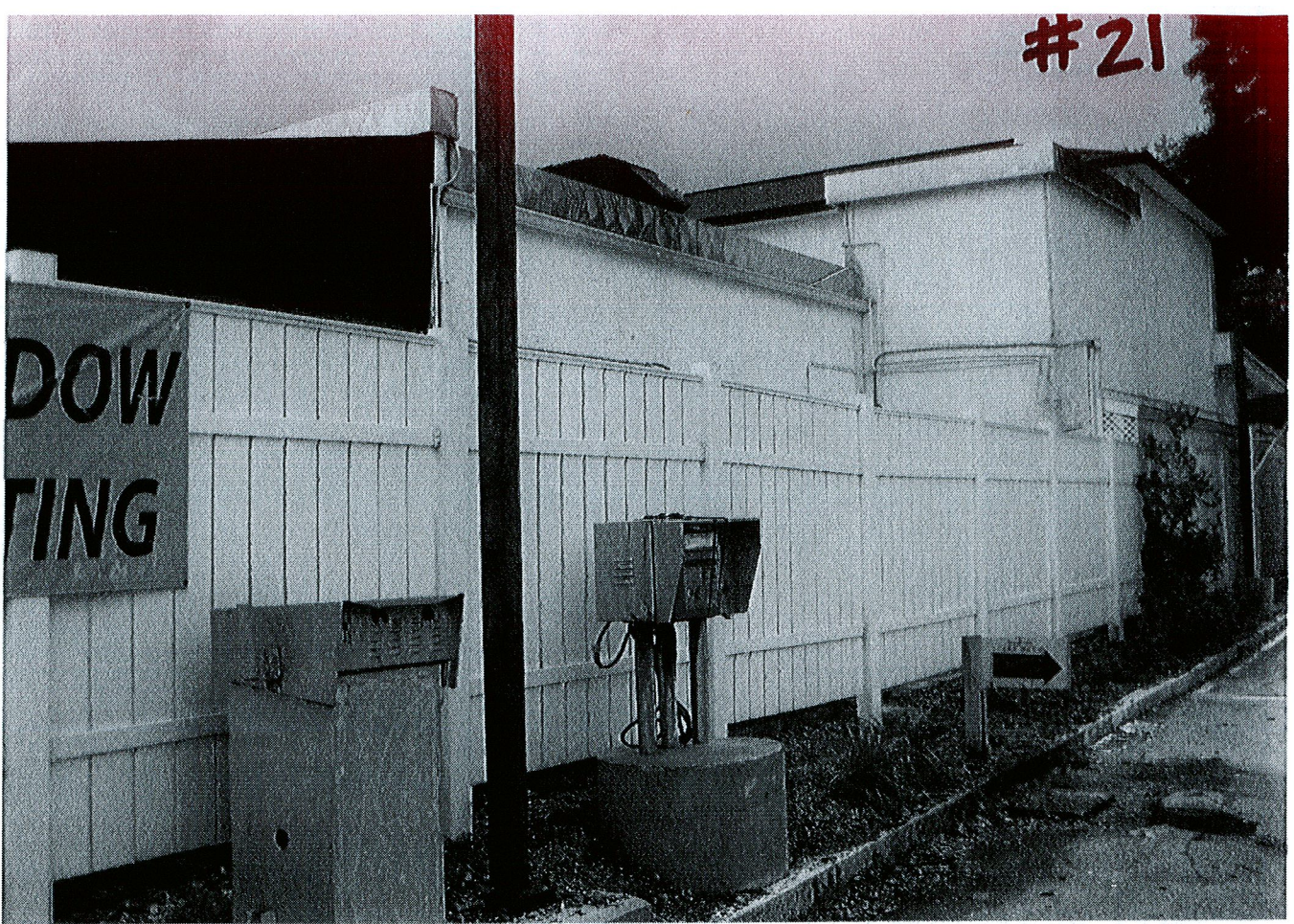
#18





#21

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Parcel ID: 292302382801040

PRINT

CONTACT

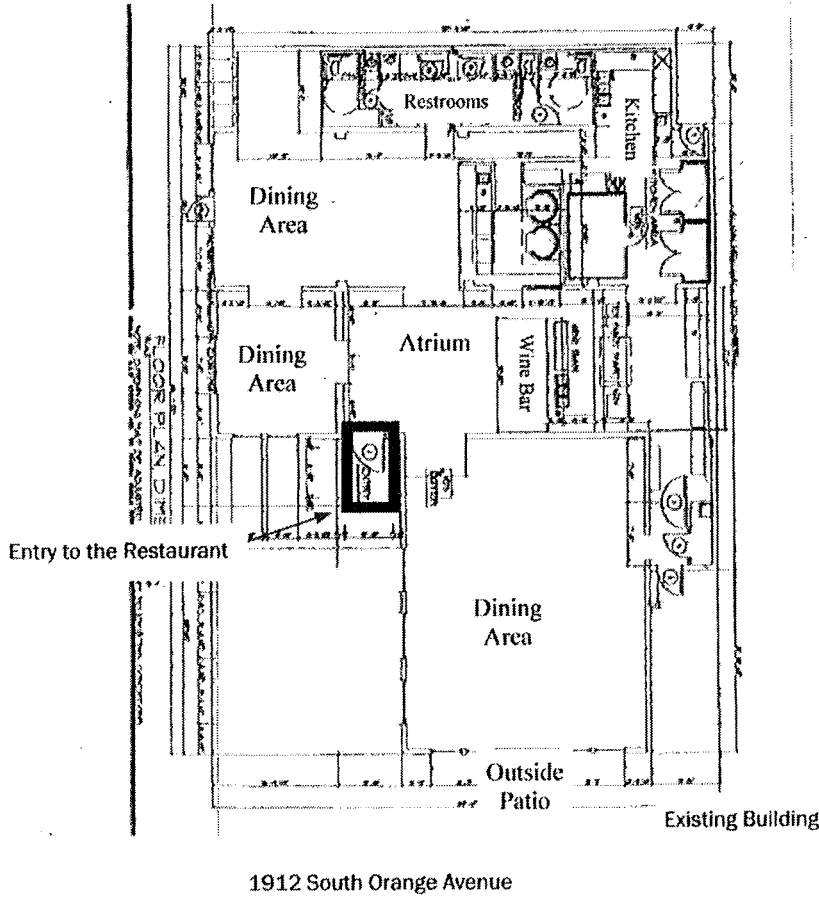


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# PROJECT OVERVIEW & ANALYSIS

Floor Plan

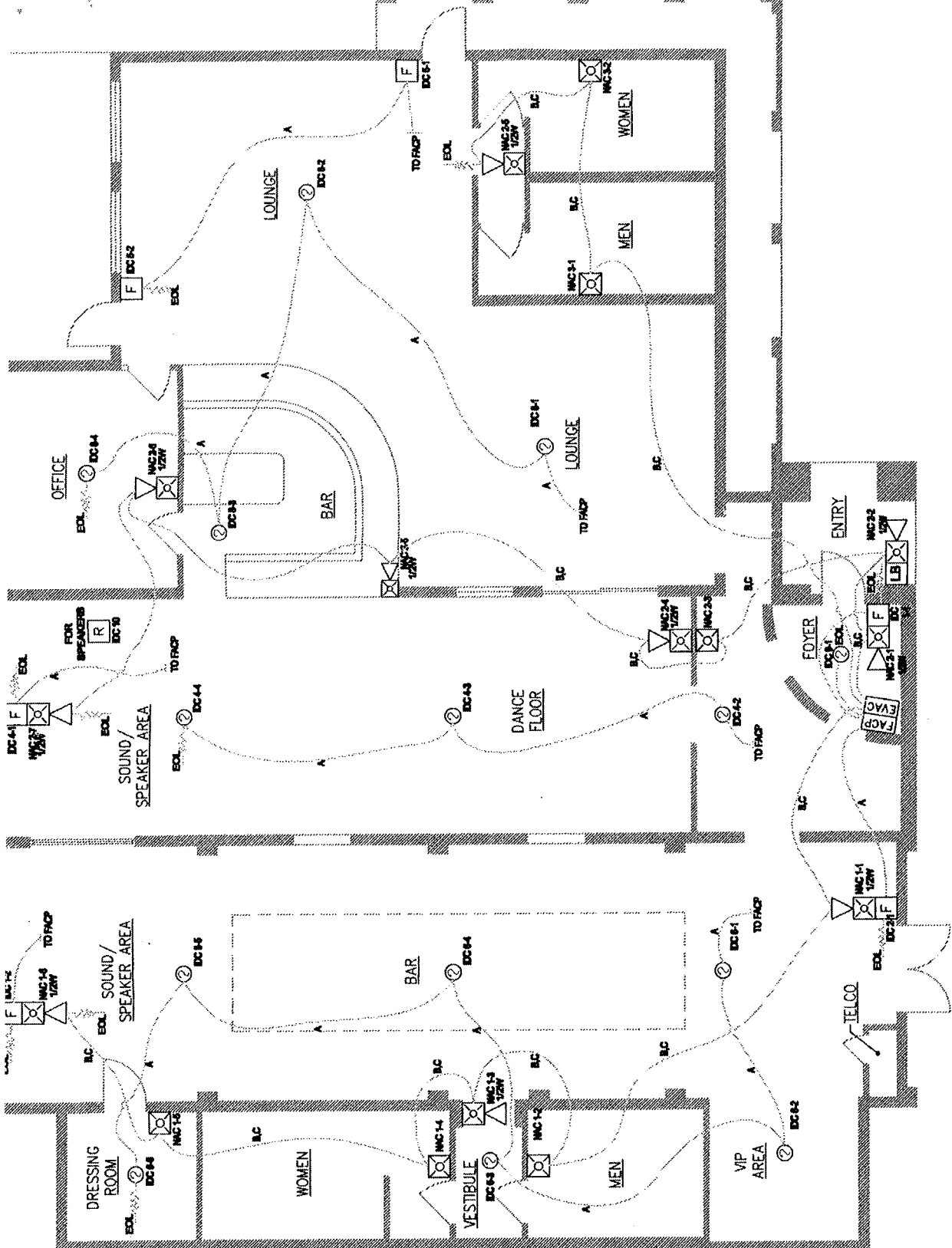


cause the properties are separated by two blocks and several businesses, the impact on the church and school should be minimal.

This portion of S. Orange Avenue is developed with various restaurants that serve beer, wine and alcohol within 6 blocks of the Christ Church (i.e. Impressions Lounge, Roadhouse Grill, Deli Planet, Numero Uno). Additionally, the previous owner of the subject property had received a variance to the distance separation requirement to sell alcohol on the premises (under 50% of total revenues).



FLOOR PLAN APPROVED  
AS PART OF THE  
CONDITIONAL USE PERMIT



FLOOR PLAN SUBMITTED  
 W/ FIR 2009-01036



facsimile transmittal

To: Tim Johnson Fax: 407-246-2882  
 From: Rosario Perma Date: 7/21/04  
 Re: Pulse Pages: Including cover: 4

Company fax # 407-396-6210

- Urgent     For Review     Please Comment     Please Reply     Please Recycle

July 20th, 2004

Tim Johnson  
City of Orlando  
400 S. Orange Ave  
Orlando, FL 32802

Rosario Poma  
5795 W. Hwy 192  
Kissimmee, Fl 34746

Dear Mr. Johnson,

Please review the enclosed letter that I have received from Robert Cramer. We are in contract with Mr. Cramer for use of his property.

On June 14th we had a meeting with yourself, Mr. Levi and I, one of the issues that were addressed at this meeting was parking. Mr. Levi asked if I had rented any parking around Pulse because my parking lot was so small and we didn't want any issues with parking. Now Mr. Cramer is getting this letter saying it's against Code to park there. Mr. Levi said it was a great idea to find property around Pulse so nobody would be inconvenienced and the property was kept clean and we weren't disturbing our neighbors.

It seems like every corner I turn there is another issue. Tim, please look into this for me. I just want to run my business make my employees and guests happy and this is what I get in return.

I look forward to hearing from you soon.

Regards,

  
Rosario Poma





# CITY OF ORLANDO

July 19, 2004

CRAMER ROBERT L  
2109 TUSCARORA TRL  
MAITLAND, FL 32751-3945

This is to advise you that violations of the City of Orlando's Land Development Code have been identified on your property at 18 W ESTHER ST. The code has been established to help maintain and improve the character and quality of our City. The violations are detailed in the attached compliance schedule.

Please contact Code Enforcement Officer Deborah Jenkins at (407) 246-2686, for more information and advise on actions you should take to correct these violations. If you should fail to correct the violations by August 16, 2004, the City will be required to seek compliance through the Code Enforcement Board.

Thank you for your attention to this matter.

Sincerely,

A handwritten signature in cursive script that reads "Deborah Jenkins".

Deborah Jenkins  
Code Enforcement Officer

cc. ce\_nov\_zone  
ref. 162622

---

#### Code Enforcement

City Hall 400 South Orange Avenue, First Floor, Orlando, Florida 32802-4990  
Phone 246-2686 Fax 246-2882 <http://www.cityoforlando.net>  
24 Hour Complaint Hotline (407) 423-UGLY

Compliance Schedule  
City of Orlando Code Enforcement Bureau

Property Address: 18 W ESWER ST  
Owner/Agent: CRANDER ROBERT L 7189 TUSCARORA TRL WALTLAND, FL 32751-3945  
First Inspection Date: July 15, 2004  
Last Inspection Date:

Section	Photo	Violation	Lot	Vacant	Corrective Action Required	Date
58.103		Building, structure, or land used or occupied not in conformity with the regulations specified for the zoning district in which it is located.			Restore land use to conform with zoning district regulations. Vacant lot being used as a principal/remote/accessory parking lot. Immediately and permanently cease parking/vehicular usage of property.	16-AUG-2004
61.430		vehicle(s) parked on an unimproved surface.			Permanently remove the vehicle(s) from the property.	16-AUG-2004

Inspector: Deborah Jenkins  
Dept/Section: Code Enforcement  
cc: ce\_comp\_sched  
ref: 162572

Dated: July 19, 2004

• Major Violations

407.396 6210